

ORDINANCE NO. 006/2009

AN ORDINANCE OF THE CITY OF MONROE, WASHINGTON TO IMPLEMENT THE DOWNTOWN SUB AREA PLAN BY AMENDING THE OFFICIAL ZONING MAP TO REZONE THE VARIOUSLY ZONED PROPERTIES WITHIN THE DOWNTOWN PLANNING AREA TO DOWNTOWN COMMERCIAL AND ESTABLISHING FOUR DISTINCT NEIGHBORHOODS: DOWNTOWN NEIGHBORHOOD, RAILS & ROADS, HISTORIC MAIN, AND BORLIN PARK NEIGHBORHOOD; AMENDING THE LAND USE ELEMENT OF THE COMPREHENSIVE PLAN TO ESTABLISH RESIDENTIAL DENSITIES FOR THE DOWNTOWN NEIGHBORHOODS; AMENDING THE MONROE MUNICIPAL CODE ADDING A NEW CHAPTER 18.12 DOWNTOWN COMMERCIAL ZONE AND REVISING VARIOUS SECTIONS OF TITLE 18 FOR CONSISTENCY; ADOPTING DESIGN GUIDELINES FOR THE BORLIN PARK NEIGHBORHOOD AS REFERENCED IN 18.12 MMC; ADOPTING FINDINGS IN SUPPORT OF THE AMENDMENTS OF THIS ORDINANCE AS WELL AS FINDING AN EMERGENCY JUSTIFYING ADOPTION OF COMPREHENSIVE PLAN AMENDMENTS OUTSIDE THE YEARLY AMENDMENT PROCESS; REPEALING INTERIM ORDINANCE NO. 46/2008; AND PROVIDING FOR SEVERABILITY AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, the City Council has determined that it is in the community interest to implement The Downtown Sub Area Plan; and

WHEREAS, the City Council has determined that it is in the community interest to rezone the variously zoned properties within the Downtown Planning Area to Downtown Commercial and establish four distinct neighborhoods: Downtown Neighborhood, Rails & Roads, Historic Main, and Borlin Park Neighborhood; and

WHEREAS, the City Council has determined that it is in the community interest to amend the Land Use Element of the comprehensive plan to establish residential densities for the downtown neighborhoods; and

WHEREAS, the City Council has determined that it is in the community interest to amend the Monroe Municipal Code by adding a new chapter 18.12 Downtown Commercial Zone and revising various sections of Title 18 for consistency; and

WHEREAS, the City Council has determined that it is in the community interest to adopt design guidelines for the Borlin Park Neighborhood as referenced in 18.12 MMC; and

WHEREAS, on December 30, 2008, the proposal was submitted to the Washington State Department of Community, Trade and Economic Development and other state agencies for review; and

WHEREAS, on February 9, 2009, the Monroe Planning Commission held a duly advertised public hearing on the proposal, which was continued to February 23, 2009 and made a

final recommendation to the City Council; and

WHEREAS, the City Council reviewed the Planning Commission recommendation at the March 17, 2009 City Council meeting.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MONROE as follows:

Section 1. The Monroe City Council approves Rezone RZ200802 and authorizes amendments to the Official City Zoning Map to rezone the variously zoned properties within the Downtown Planning Area to Downtown Commercial and establish four distinct neighborhoods: Downtown Neighborhood, Rails & Roads, Historic Main, and Borlin Park Neighborhood, as attached as Exhibit A.

Section 2. The Monroe City Council approves the text amendments to the Land Use Element (pages LU9-LU10) of the current Comprehensive Plan to establish residential densities for the downtown neighborhoods, as attached as Exhibit B

Section 3. The Monroe City Council approves an amendment to the Monroe Municipal Code adding Chapter 18.12 Downtown Commercial Zone, as attached as Exhibit C

Section 4. The Monroe City Council approves amendments to the Monroe Municipal Code revising various sections of Title 18 (Chapter 18.02 MMC Definitions, Chapter 18.10 MMC Zoning, Section 18.80.080 Signs - Downtown Commercial, Section 18.86.085 Exemptions for downtown commercial district, and Section 18.86.050 Required number of parking spaces, for consistency with the adoption of Chapter 18.12 MMC, as attached as Exhibit D.

Section 5. The Monroe City Council adopts the Borlin Park Neighborhood Design Guidelines as referenced in 18.12 MMC and as attached as Exhibit E.

Section 6. The Monroe City Council adopts the findings and conclusions recommended by the Monroe Planning Commission in support of the amendments adopted by this ordinance, attached as Exhibit F and incorporated by this reference as if set forth in full. The Monroe City Council also adopts the additional findings submitted by staff in support of the comprehensive plans, attached as Exhibit G and incorporated by this reference as if set forth in full. In addition, the Monroe City Council finds that an emergency exists justifying the adoption of the comprehensive plan amendment in Section 2 outside of the yearly comprehensive plan docketing process, as authorized by Monroe Resolution No. 2005/006. The basis for the emergency is that waiting for the yearly docket process would necessitate the extension of the interim ordinance for the Downtown Planning Area for another six months. The densities in the underlying comprehensive plan designations for the Downtown Planning Area are inconsistent with the densities in the amendments proposed by this ordinance. Without an emergency declaration, the amendments could not be adopted until the regular docketing process is completed, which would be in June or July. The properties in the Downtown Planning Area have been subject to a moratorium or interim ordinance for more than a year. For the reasons stated in the moratoria and interim ordinances, the ordinances were necessary to stabilize development until permanent regulations were adopted. The permanent amendments adopted by this ordinance will enhance the economic development of the downtown area at a time of

economic downturn when any measures that facilitate economic development are critical to the welfare and prosperity of Monroe residents. The City Council finds that the permanent regulations must be adopted as soon as possible in order to facilitate economic development and to remove the burdens on development caused by the interim ordinance. The Council finds that as time is of the essence, the situation constitutes an emergency within the Downtown Planning Area for purposes of amending the comprehensive plan outside the yearly amendment process as outlined in Resolution No. 2005/06.

Section 7. Severability. If any section, sentence, clause or phrase of this ordinance should be held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause or phrase of this ordinance.

Section 8. Effective Date and Repeal. This ordinance shall be in full force and effect five (5) days from and after its passage and approval and publication as required by law. Interim Ordinance No. 046/2008 shall be repealed on the effective date of this ordinance.

PASSED by the City Council and APPROVED by the Mayor of the City of Monroe, at a regular meeting held this 17th day of March 2009.


CITY OF MONROE, WASHINGTON:



Donnetta Walser, Mayor

1st Reading: 3/17/09
Published: 3/24/09
Effective: 3/29/09

ATTEST/AUTHENTICATED:



Eadye Martinson, Deputy City Clerk

APPROVED AS TO FORM:



Phil Olbrechts, City Attorney

EXHIBIT A

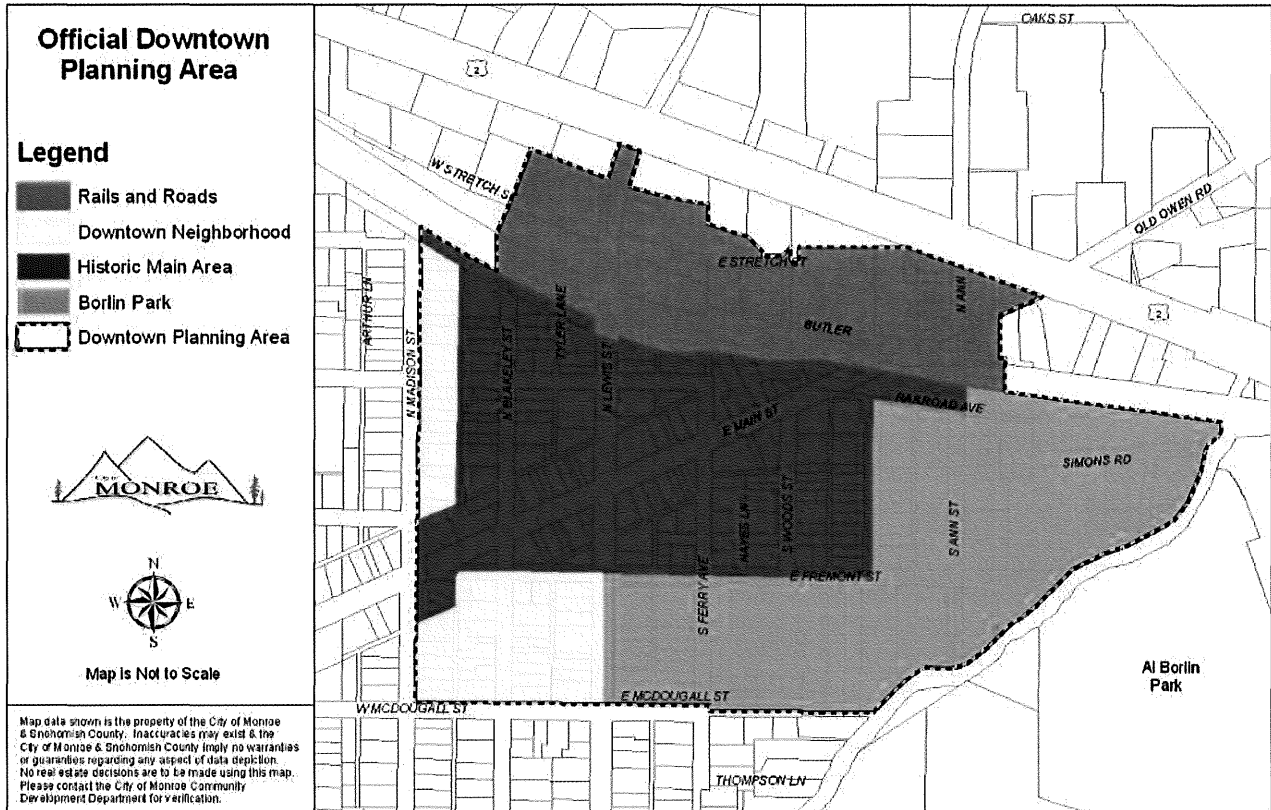


EXHIBIT B

The Comprehensive Plan Land Use Map, based on the preferred Alternative Two, is shown in Figure LU-2. The city is not recommending changes to any land use designations within the city at this time, but is adopting changes to the zoning code to encourage and allow higher density residential development within existing zoning designations.

Profile of Planning Area

The following profiles of areas in the city indicate existing conditions and possible future uses or concerns for each area. The areas with current development concerns are shown first, with the areas almost or fully developed towards the end of this section.

Downtown Old Monroe

Existing Conditions and Issues

Old Town represents much of the original settlement core of the city. It is an area of older homes on smaller lots surrounding the downtown central business district and bisected by Main and Lewis Streets—the original crossroads of the city. The residential areas are characterized by single-family housing units intermixed with duplexes and small multi-family housing complexes. Scattered industrial uses are located around the railroad tracks along W. Main Street and adjacent to US-2 on the eastern edge of the city. Conversion of older homes to office and professional uses is occurring along W. Main Street and to a lesser extent along Lewis Avenue. The downtown commercial core retains a base of commercial and retail uses, although the US-2 commercial strip development now dominates as the city's business hub.

Future Vision and Issues

Old Town retains some of the highest density housing in the city and offers opportunities for both future new development and redevelopment. The entire area is serviced by sanitary sewer and potable water. Planned densities for future residential development will vary by neighborhood. The Plan also targets policies aimed at improving the downtown commercial core's parking, streetscape, and amenities to encourage a strong downtown image for the city.

To implement the vision for this area, the city adopted a Downtown Master Plan (Master Plan) in 2008. The Master Plan reflects the community's vision for this area and was developed through a series of public workshops and input from various interest groups including, but not limited to, the Downtown Revitalization and Enhancement Association of Monroe (DREAM), the Monroe Chamber of Commerce, business, and property owners. The planning area includes approximately 92 acres, broken into four distinct neighborhoods: Historic Main Street, Al Borlin Park, Downtown Neighborhood, and Rails and Roads.

The Historic Main Street neighborhood is the traditional commercial and retail center of Monroe; it runs the length of Main Street from Madison Street to the railroad tracks and Lewis Street between US-2 and Fremont Street. Lewis Street intersects Main Street and functions as a major arterial and truck route through downtown. The focus of this neighborhood is preservation of the historic character and infill development. Primary land uses will continue to be retail, restaurants

and entertainment functions, with new opportunities for professional office and up to 20 residential units per gross acre.

The Borlin Park Neighborhood is east of the historic commercial core and is bounded by Woods Creek, the railroad tracks, Fremont Street, and Charles Street. This area will see the greatest change and is a key element to invigorating the entire downtown area. The redevelopment goal is to create an “urban village” that contains a mix of commercial and residential uses; residential density will range from 11-20 units per gross acre. The natural amenities along the eastern edge will be incorporated into the overall development of the area by hosting well-designed parks and open space. There are also opportunities to provide additional urban and civic uses within convenient walking distance of Historic Main Street.

The Downtown Neighborhood includes well-established and transitional residential blocks that frame the northwest and southwest edges of downtown Monroe. Some of the existing residential structures are being converted to commercial and office uses while maintaining the exterior facades. Future development and redevelopment of this area should maintain up to 11 residential dwelling units per acre and continue to provide a mix of uses.

The Rails and Roads Neighborhood includes the stretch of land between the Burlington Northern/Santa Fe (BNRSF) railroad tracks and US2, north of the Historic Main Street area. The neighborhood’s current light industrial uses mixed with other commercial activities are appropriate for this location. Residential use in this neighborhood is not allowed, due to the commercial nature of the area. As the area redevelops, the uses should complement the vision for the Historic Main Street area and the goals for the downtown as a whole. To meet increasing demand for public transportation, this area should also take advantage of the existing rail lines for passenger service.

A fundamental component of the Master Plan is to invite a vibrant mix of uses, which contribute to a dynamic economy and supports a high quality of life for Monroe residents. Land use regulations that encourage the appropriate combination of activities will be essential to achieve this goal. The Master Plan will serve as the city’s framework document for the development and redevelopment of this area as well as guide public and private investment through capital improvement projects. The Master Plan, along with this document, establishes the policies used to develop new regulations adopted in the Monroe Municipal Code. As part of the Master Plan, design guidelines were established for the Historic Main Neighborhood to preserve the historic character of the traditional commercial area along Main and Lewis Streets. In addition, design guidelines were also developed for the Borlin Park Neighborhood that emphasize the Urban Village concept and provide design continuity throughout the neighborhood.

EXHIBIT C

Chapter 18.12

DOWNTOWN COMMERCIAL (DC) ZONE

18.12.110 Purpose of the Downtown Commercial Zone.

18.12.120 Neighborhoods and Maps.

18.12.130 Downtown Neighborhood (DN).

18.12.140 Rails and Roads Neighborhood (RR).

18.12.150 Historic Main Area (HM).

18.12.160 Borlin Park Neighborhood (BP).

18.12.170 Downtown Neighborhood Land Use Matrix.

18.12.180 Mixed-Use Requirements.

18.12.190 Special Uses.

18.12.200 Downtown Planning Area Bulk Requirements.

18.12.210 General Downtown Commercial Requirements for the Historic Main and Borlin Park Neighborhoods.

18.12.220 Downtown Commercial Parking.

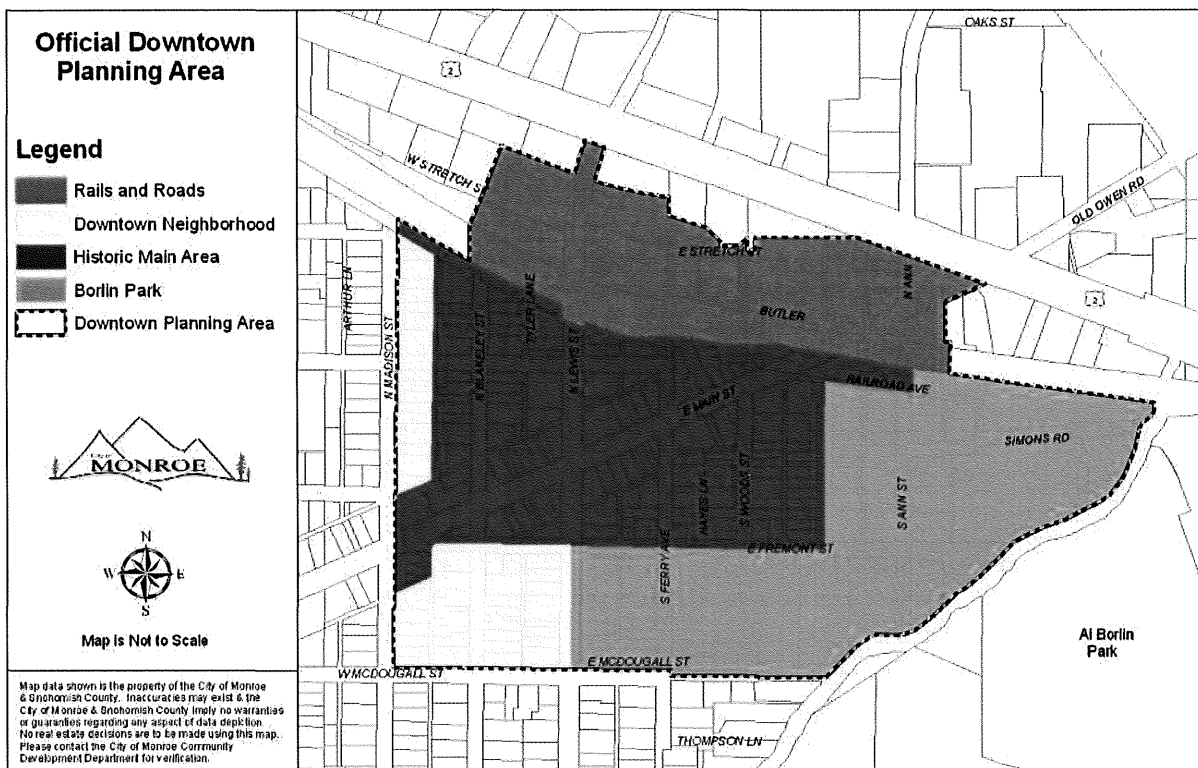
18.12.110 Purpose of the Downtown Commercial Zone.

The purpose of the Downtown Commercial Zone is to integrate civic, commercial, entertainment, cultural and residential uses and increase economic and urban activity levels within the zone. Development standards or guidelines applicable to the Downtown Commercial zone enhance opportunities for significant growth of office, commercial, and residential projects in the city’s core, where public transit and civic amenities are more concentrated and available.

18.12.120 Neighborhoods and Maps

- A. Neighborhoods – The Downtown Commercial zone is subdivided into four distinct neighborhoods; each neighborhood is intended to implement specific aspects of the comprehensive plan that pertain to the Downtown Planning Area. Each neighborhood contains a unique mix of uses and zoning regulations, as described in this chapter. The four neighborhoods are DN - Downtown Neighborhood, RR – Rails and Roads Neighborhood, HM - Historic Main Area, and BP – Borlin Park Neighborhood

- B. Official Downtown Planning Area zoning map – The official Downtown Planning Area zoning map shows the boundaries of the planning area and represents the four distinct neighborhoods in the Downtown Commercial Zone. This map shall be supplemental to the current, official City of Monroe zoning map.



- C. Planning Area and Neighborhood boundaries – Where uncertainty exists as to the boundaries of the Downtown Planning Area and Downtown Commercial Neighborhoods, as shown on the official Downtown Planning Area zoning map, the rules defined in MMC 18.04.030 shall apply.

18.12.130 Downtown Neighborhood (DN).

- A. Purpose – The Downtown Neighborhood frames the western edge of the Historic Main Area and contains existing single-family houses, multifamily buildings, and some commercial uses. This mix of uses is appropriate for this neighborhood, as a transitional edge between single-family neighborhoods and the Historic Main Area, to provide a setting for small businesses and close-in housing options. Future redevelopment in this area will provide a mix of uses. Residential uses in this neighborhood are limited to single-family residences and duplexes.
- B. Residential Density – Residential density will allow up to 11 dwelling units per acre. The number of units on a specific site is calculated by multiplying the gross area by 11 units per acre.

18.12.140 Rails and Roads Neighborhood (RR).

The Rails and Road Neighborhood includes the lands north of the Historic Main Area, between the railroad and US 2. Many of the properties in this area have roads along the front and rear of the property, looking both to downtown and to the commercial strip. Various commercial activities are appropriate in this neighborhood. The long-term vision for the area should make use of the rail lines by encouraging a rail stop for potential passenger service. Residential uses in the RR neighborhood are not allowed, due to the commercial nature of the area.

18.12.150 Historic Main Area (HM).

- A. Purpose – The Historic Main area encompasses the blocks along Main Street between Madison Street and the railroad tracks and along Lewis Street between Fremont Street and the railroad tracks. The Historic Main Area will be the core area for specialty commercial uses that serve the entire community and even the region. The goal for this area is to continue to have a high concentration of retail, dining, and entertainment functions, while accommodating professional services and some residential housing. Cultural and recreational facilities should also be a part of the area’s mix of uses.
- B. Residential Density – The Historic Main Area allows up to 20 residential units per gross acre. The number of units is calculated by multiplying the gross area by 20 units per acre.
- C. Design Guidelines – All development within the Historic Main Area shall comply with the design guidelines found in the Downtown Master Plan. Design guideline review will be administrative. The city reserves the right to hire an independent qualified professional, at the applicant’s expense, to review and comment on the subsequent report and/or plans for consistency with the design guidelines

18.12.160 Borlin Park Neighborhood (BP).

- A. Purpose – The goal for this neighborhood is to promote an “urban village” character that contains pedestrian scale amenities and high-quality mixed-use and high-density residential development. Land uses will provide for a concentration of commercial, residential, and civic functions. Civic functions may include recreational and arts uses as well as education-related activities. The Borlin Park Neighborhood should contain significant, well-designed parks and open space. There are opportunities to make use of natural amenities along the eastern edge of the area that would make this a distinctive and appealing location for in-town housing. There are also opportunities to provide additional urban, civic green spaces within convenient walking distance of the Historic Main Area. This combination of uses is necessary to promote the greater downtown Monroe area as a regional destination for specialty retail, dining, and entertainment.

Areas along Woods Creek and the Borlin Park Neighborhood are encouraged to provide enhanced pedestrian and bicycle connectivity. Also proposed along Woods Creek is an area for an overlook and water access at the creek itself, which would be linked into the enhanced bike and pedestrian ways. Areas of the Al Borlin Park Neighborhood, which are within the Woods Creek shoreline area, will have some development constraints due to the natural sensitivities of the creek side areas.

- B. Residential Density – The Borlin Park Neighborhood allows up to 20 residential units per gross acre. The number of units is calculated by multiplying the gross area by 20 units per acre.
- C. Design Guidelines - The Borlin Park Neighborhood Design Guidelines, dated February 2009 or as amended in the future and attached to the ordinance codified in this section, are hereby adopted and incorporated into this section by this reference as if set forth in full. All development within the Borlin Park Neighborhood shall comply with the design guidelines as adopted. Design guideline review will be administrative. The city reserves the right to hire an independent qualified professional, at the applicant's expense, to review and comment on the subsequent report and/or plans for consistency with the design guidelines per MMC 3.34.040 or as amended in the future.

18.12.170 Downtown Neighborhood Land Use Matrix.

This matrix shall be considered supplemental to the Zoning Land Use Matrix, MCC 18.10.050. Uses identified in the matrix below, but not in MCC 18.10.050 shall be considered prohibited in the zoning districts identified in MCC 18.10.050.

Downtown Neighborhood Zoning Matrix	Downtown Commercial Zone			
	Downtown Neighborhood	Rails & Roads Neighborhood	Historic Main Area	Borlin Park Neighborhood
Accessory dwelling units	P1		P1	P1
Adult entertainment (business use) P2				
Amusement Facility		P	C	C
Antique Shop		P	P	P
Auto Repair		P		
Art gallery		P	P	P
Bakery		P	P	P
Bank with drive-up facility		P	P	
Bed and breakfast	C1		C1	C1
Brewery, micro		P	P	C
Church	C	P	P	P
Cleaning establishment		P	P	C
Clinic, health services	C	C	C	C

Club, fitness	P	P	P	A
Club		P	P	C
Coffee shop	A	P	P	P
Community Open Air Market		P	P	P
Convenience stores		P	P	
Day care center	C2	C2	C2	C2
Drive-up/thru		P	P3	P3
Drug store		P	P	P
Dwelling, duplex	P			
Dwelling, mobile home	P		C	
Dwelling, multifamily			P4	P
Dwelling, single-family	P		C	
Dwelling, townhouse				P
Electrical transmission lines of higher voltage than 115 kV, in existing corridors	P	P	P	P
Electrical transmission lines of higher voltage than 115 kV, in new corridors	C	C	C	C
Family day care	A	A	A	A
Garden produce		P	P	P
Gas station		P	C	
Government facilities	C	C	C	C
Greenhouse, retail		P	C	
Grocery store		P	P5	P5
Group homes, Type 1	P		C	P
Group homes, Type 2	C3		C3	C3
Halfway house	EPF		EPF	EPF
Hardware store		P	P	
Home occupations	P		P	P
Hotel		P	C	C
Motel		P		
Library		P		P

Mixed-Use (commercial and residential)	P		P	P
Mobile Vendors		P6	P6	P6
Nursing and/or convalescent home			P8	P8
Office, general	P	P	P	P
Office, professional	P	P	P	P
Parking lots (accessory use)	P	P	P	P
Parking lots (stand alone)	C	C	C	C
Pawnshop		P	P	
Preschool	C	C	C	C
Print shop		P	P	C
Regional transit station, including bus, train, and other high-capacity vehicle bases	EPF	EPF	EPF	EPF
Restaurant		P	P	P
Retail stores		P	P7	P7
Retirement housing/assisted living facility		P8	P8	P8
Service establishment	C	P	P	P
State and regional transportation facilities including highways of statewide significance	EPF	EPF	EPF	EPF
Tavern/Pub		P	P	A
Tool sales and rental		P		
Utility Services	P	P	P	P
Veterinary Clinic/ Animal Hospital	C	P	C	

P = Permitted use; A = Accessory use; C = Requires a conditional use permit; and EPF = Essential public facility (see Chapter 18.15 MMC)

- P1 Accessory Dwelling Units must meet criteria outlined in Chapter 18.40 MMC.
- P2 Adult entertainment facilities are subject to Chapter 5.48 MMC and are not allowed in the Downtown Commercial zone.
- P3 Drive-up/thru windows or areas are prohibited in any establishment serving food and/or beverages.
- P4 Multifamily dwellings are only allowed in conjunction with mixed-use structures.
- P5 Grocery stores may not exceed 20,000 square feet in gross floor area.
- P6 Mobile Vendors must meet the criteria outlined in Chapter 18.12190(A).

P7 In the Historic Main and Borlin Park neighborhoods, retail stores are limited to “low-intensity uses” no more than two thousand five hundred gross square feet, which are typically, part of a larger development. Low-intensity uses may include, but are not limited to boutiques, galleries, jewelry stores, clothing shops, and similar retail uses.

P8 Based upon bedrooms as opposed to dwelling units in any combination of one-, two-, and/or three-bedroom units, not to exceed the maximum density allowed in the underlying zoning district. The standard formula would be to use the maximum allowed density per acre (43,560 sq feet divided by minimum zone lot size) multiplied by three (standard bedroom equivalent unit) to achieve bedroom density. For example in the MR6000 zone – a one acre site could achieve 33 bedrooms per acre ($43,560 / 4000 = 10.89$ or 11 dwelling units per acre $\times 3 = 33$).

C1 Caretaker must be onsite

C2 Limitation on number of children permitted per establishment.

C3 Group homes that qualify as essential public facilities shall follow the regulations in Chapter 18.15 MMC, Essential Public Facilities.

18.12.180 Mixed-Use Requirements.

A. Residential Mixed-use Requirements – The purpose and intent of requiring specific standards for residential mixed-use developments is to determine:

1. Compatibility of land uses by establishing specific standards and incentives for residential mixed-use developments to ensure and promote consistency in design, construction, and scale;
2. Proximity of housing to services by providing opportunities for residents to live close to areas of shops, offices and other urban amenities, in order to facilitate access to such services and places of employment, and also to promote pedestrian orientation while decreasing the need for automobile trips;
3. Consistent application of design standards for all new or renovated buildings within the Historic Main Street and Borlin Park neighborhoods, as applicable; and
4. Ensure that the residents of mixed-use development are provided with the same amenities afforded other multifamily developments throughout the city.

B. Applicability – Residential mixed-use development is permitted as established in the Downtown Neighborhood Land Use Matrix of this chapter.

1. A minimum of one floor must be dedicated to residential use to qualify as a mixed-use development.
2. Historic Main ground floor must be commercial

18.12.190 Special uses.

A. Mobile Vendors – the purpose of this section is to regulate the activities of mobile vendors, where permitted and promote the safety and welfare of the general public.

1. Requirements.
 - a. Submit a site plan that includes the elements described in MMC 18.82.030
 - b. Submit property owner’s written approval to locate on property.
 - c. Provide a signed agreement with a neighboring property owner within 200 ft of the business for use of restrooms.
 - d. All mobile vendors engaged in the sale of food shall comply with all laws, rules, and regulations regarding food handling and provide a statement of approval from the Snohomish Health District. All vehicles or conveyances used by mobile vendors shall comply with all applicable laws, rules, and regulations as established by the Washington State Motor Vehicle Code, and the Monroe Municipal Code.
 - e. If inside seating is provided, within the vehicle or unit, compliance with the accessibility code is required including, but not limited to:
 - Accessible ramp
 - Aisle width of 36”
 - Door width of 36”
 - Seating to accommodate a wheelchair
 - An accessible restroom within the vehicle/unit

- f. Vehicles must bear a seal that indicates it has been inspected and approved by L & I.
- 2. Business License – a business license is required for all mobile vendors prior to conducting business, in conformance with licensing requirements established in Chapter 5.02 MMC, Business Licenses.
- 3. Site restrictions.
 - a. Mobile vendors shall be limited to two, per linear block on each side of the street, if the vendors are separated by a minimum distance of one hundred feet.
 - b. No mobile vendor shall sell or convey goods in the public right-of-way.
 - c. Mobile vendors cannot obstruct the passage of any sidewalk, street, avenue, alley or any other public place, by causing people to congregate at or near the place where any article is being sold or offered for sale.
 - d. No merchandise will be offered, displayed, or sold, and no customers served, in any vehicle travel lane.
 - e. Mobile vendors cannot conduct business unless the vehicle or conveyance is parked and operated in full compliance with the traffic and sidewalk ordinances of the city, in effect at the time of application or as hereafter amended.
 - f. This section shall not apply to vendors operating in conjunction with, and at the location of, events known as the farmers’ market or as part of permitted special event, per Chapter 5.28 MMC.
 - g. No temporary/portable restrooms are allowed on-site.
 - h. All mobile vendors shall clean up all litter originating from his/her business, each day, within a one hundred fifty-foot radius of the location where sales occur.
- B. Community-Oriented Open-Air Markets.
 - 1. The purpose of this chapter is to regulate Community-Oriented Open-Air Markets within the Downtown Commercial zone, including farmers markets, art fairs, and the like. Community-Oriented Open-Air Markets are intended to be operated by a public or private organization, which is open to the public and operates from individual booths or stands.
 - 2. Permitted uses.
 - a. All fruits, vegetables, berries, butter, eggs, milk, or any farm produce sold by the grower or a representative.
 - b. Edibles raised or caught by the seller, including fish and meats.
 - c. The sale of goods and products produced artisans, crafts persons, or their representative.
 - d. Sale of food and beverages prepared on-site such as concession stands.
 - 3. Prohibited uses
 - a. The secondhand sale of goods and products;
 - b. The sale of any raw meat, fish or poultry product unless approved by the Snohomish Health District;
 - c. The sale of any beverage or food unless appropriately licensed from the Snohomish Health District; and
 - d. No sound amplification system shall be used in conjunction with the market, which produces noise and which is audible beyond the boundaries of the area designated in the application per MMC 18.10.270 Performance standards.
 - 4. Required license and permits
 - a. A business license from the city must be obtained by the sponsoring organization.
 - b. Any permits required by the Snohomish County Health District
 - c. Exemptions. Required license and permits shall not be applied to any farmer, gardener or other person who sells any fruits, vegetables or other farm produce or edibles produced by such person within Snohomish County, Washington and exempt pursuant to RCW 36.71.090

from paying any fee or application. Such persons are exempt from the licensing and fee requirements of Chapter 5.02 MMC.

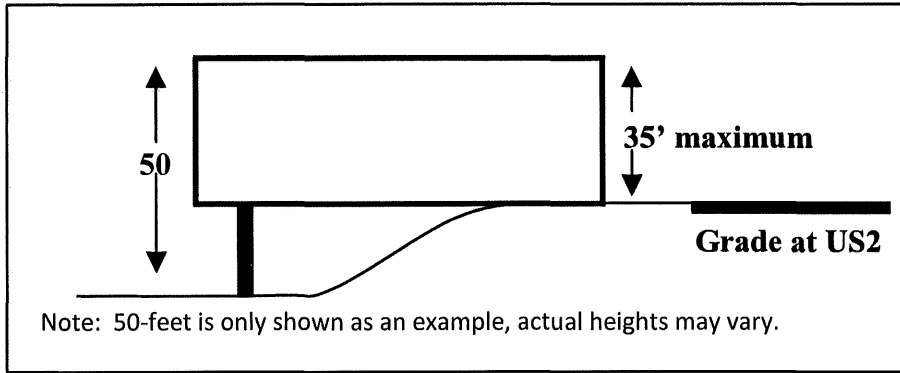
d. A special event permit will be required per Chapter 5.28 MMC, for events on public property.

18.12.200 Downtown Planning Area Bulk Requirements

Site Requirement	Downtown Commercial Zone Neighborhoods			
	Downtown Neighborhood	Rails & Road Neighborhood	Historic Main Area	Borlin Park Neighborhood
District Symbol	DN	RR	HM	BP
Minimum Building Front/Street Setbacks (In Feet)	10'-Living 20'-Garage 20'-Office	25' from arterial 20' from all other streets	None	None
Minimum Building Rear Setbacks (In Feet)	Single story – 5' add 2' for each additional story	As per IBC and IFC ¹	As per IBC and IFC ¹	As per IBC and IFC ¹
Minimum Building Side Setbacks (In Feet)	Single story – 5' add 2' for each additional story	As per IBC and IFC ¹	As per IBC and IFC ¹	As per IBC and IFC ¹
Maximum Lot Coverage of Structures and Other Impervious Surfaces	75%	None	None	85% ¹
Minimum Landscaped Area/Landscaping Requirements	Per 18.78 MMC	Per 18.78 MMC	Per 18.78 MMC	Per 18.78 MMC
Maximum Height (In Feet)	35'	35' ⁵	35' ²	35', ²
Maximum Height Bonus (In Feet) for Mixed-Use Buildings	None	None	55'	55'
Ground Floor Use Requirement for Mixed-Use Buildings	None	None	Commercial	None
Design Criteria	None	None	Yes- 18.12.150	Yes-18.12.160
Minimum First Story Height (Mixed-Use)	None	None	15'	15'
Minimum Lot Area	SFR - 4,000 sq ft Duplex - 8,000 sq ft Office - 4,000 sq ft	None	None	None
Floor Area Ratio (Far)	N/A	N/A	1.7:1	1.7:1
Bonus FAR for Residential	N/A	N/A	0.5 ³	0.5 ³
Bonus FAR for Underground Parking	N/A	N/A	0.5 ⁴	0.5 ⁴

1. Critical areas located on the lot count toward the FAR
2. Mixed use facilities may achieve 20-foot height bonus
3. If the structure is mixed-use, a minimum of one story must be dedicated to residential use.
4. Bonus FAR of 0.5 for buildings, which provide one full level of parking below grade.

5. Maximum height of 35 feet is measured from the grade level at US2 to the roofline for buildings fronting US2 (see diagram below).



18.12.210 General Downtown Commercial Requirements for the Historic Main and Borlin Park Neighborhoods

A. Development Standards

1. Minimum height of ground floor shall be 15 feet in height, from top to top of the successive finished floor surfaces on applicable buildings, as illustrated in Figure 18.12-1. Figure 18.12-1 shows a ground floor height of 15 feet.

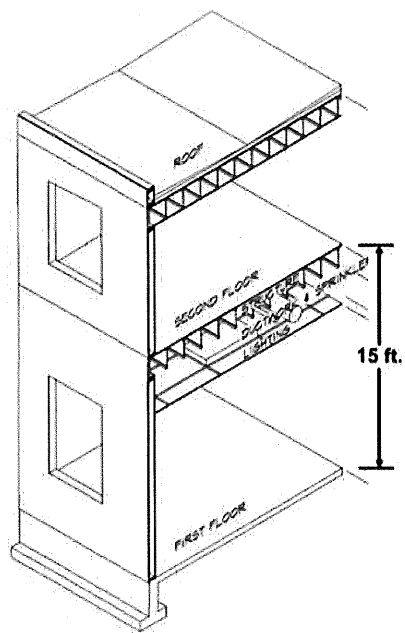


Figure 18.12-1: Ground Floor Height Measurement

2. Floor area ratio (FAR) bonus. New or renovated buildings, as applicable, may attain a 0.5 FAR bonus for mixed- use buildings, if a minimum of one floor is dedicated to residential use.
3. Ground Floor – Commercial uses shall be located on the ground floor, as applicable. The elevation of the ground floor and associated entry shall be within seven inches of the grade level of the adjoining sidewalk. “Grade” shall be as measured at the entry location.
4. Exceptions and Clarifications.
 - a. Parking is not considered to be a commercial use for the purposes of satisfying the ground floor commercial use requirement. Ground floor parking is allowed under the following circumstances:

- i) The parking lot is behind commercial suites on the ground level.
- ii) Commercial use requirement will be satisfied on the second story.
- iii) Additional landscape screening is provided.
- b. Commercial space located on the ground floor shall be directly accessible, by an entry, from the sidewalk.

18.12.220 Downtown Commercial Parking

- A. Off-Street parking shall be provided per Chapter 18.86 MMC, throughout the Downtown Commercial zone, with the following exceptions:
 - 1. The Historic Downtown neighborhood is exempt from off-street commercial parking requirements; however, for new construction on-site parking is encouraged when feasible; and
 - 2. Multifamily Parking Requirements for the Historic Downtown and Borlin Park neighborhoods.

Type of multiple dwelling unit	Required parking spaces per dwelling unit
Studio/ 1 bedroom	1.5
2 or more bedrooms	2.0

- B. The director or designee may approve a reduction of up to 20% of the required off-street parking spaces, per MMC 18.86.050, when the applicant provides one or more of the following:
 - 1. The applicant submits a parking study, by a qualified professional, substantiating that the parking need can be met by the proposed reduction.
 - 2. The applicant sets aside land equal to the reduction area, which can be converted to parking, if a change in use or tenant occurs that increases the minimum required off-street parking, per MMC 18.86.050; in such case, the land set aside must be converted to parking.
 - 3. For every five bicycle spaces provided, per 18.12.220 (D) of this section, or for each bicycle locker (two-bicycle capacity), the minimum motor vehicle parking space requirements may be reduced by one space up to 5% of the total required off-street parking spaces.
 - 4. On sites where at least 20 parking spaces are required and where at least one frontage abuts a designated roadway, transit supportive plazas may be substituted for up to 10% of required vehicle parking when:
 - a. The plaza is adjacent to the arterial street (if there is a bus stop along the site's frontage, the plaza must be adjacent to the bus stop);
 - b. The plaza must be at least 200 sq. ft. in area and be shaped so that a 10 foot by 10 foot square will fit entirely within the plaza; and
 - c. The plaza must be open to the public, contain a bench or other sitting area and shall have at least 10% and no more than 25% landscaping.
 - 5. The applicant enters into joint parking agreement, for use of a cooperative parking facility, in accordance with MMC 18.86.070 and 18.86.080. Through a joint parking agreement, the 20% reduction may be increased if all cooperative parking facility criteria are met.
- C. Standards for bicycle parking – Any bicycle parking implemented under this section must meet the following standards:
 - 1. Bicycle parking must be provided at the ground level, and may be provided in floor, or wall racks that hold bicycles securely. Bicycles may be tipped vertically for storage, but not hung above the ground. If the bicycle parking is placed in the public right-of-way, it shall not obstruct pedestrian walkways or damage required landscaping.
 - 2. Where required bicycle parking is provided with racks, the racks must meet the following standards:

- a. The rack must hold the bicycle securely by means of the frame. The frame must be able to be supported so that the bicycle cannot be pushed or fall to one side in a manner that will damage the wheels;
 - b. The bicycle frame and one wheel can be locked to the rack with a high-security, U-shaped shackle lock if both wheels are left on the bicycle;
 - c. The rack must be securely anchored to the ground or adjacent structure with theft-resistant hardware.
3. Where bicycle parking is provided with lockers, such lockers must meet the following standards:
- a. An area of at least 6' of horizontal distance shall be provided around the entrance of each locker that is free from obstructions; and
 - b. The lockers must be securely anchored to the ground or adjacent structure with theft-resistant hardware.
- D. Underground parking is encouraged throughout the Downtown Commercial zone.

EXHIBIT D

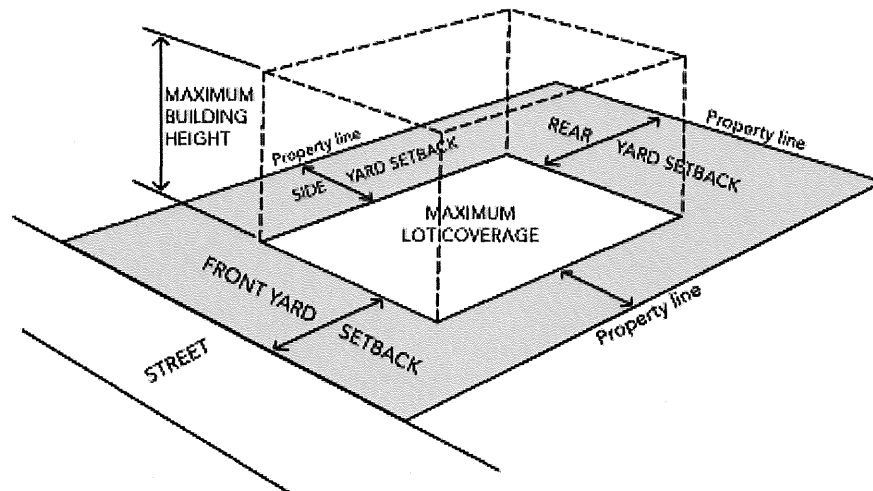
Chapter 18.02 MMC Definitions.

NOTE: REMOVE INDIVIDUAL NUMBERING OF DEFINITIONS TO ENABLE EASIER INSERTIONS AND DELETIONS AS NEEDED.

Bed and breakfast. “Bed and Breakfast” means a detached single-family dwelling where transient lodging and meals are provided for compensation, when the facility is operator-occupied. The number of guests is limited to no more than six (6) at any time.

Building Envelope. “Building Envelope” means the elements of a building that separate the interior and exterior environment and include a combination of building height, setbacks from front, side and rear yards, lot coverage, building footprint and floor-area ratio or FAR; together these dimensions can define the building’s envelope.

Building Envelope



Community-Oriented Open-Air Market. “Community-Oriented Open-Air Market” means a site or location where two or more individual vendors, with each vendor operating independently from the other vendors and subleasing booths, stalls, sell foods and merchandise on a temporary basis. This definition is inclusive of “farmer’s markets,” “art fairs,” and the like, but does not include “flea markets.”

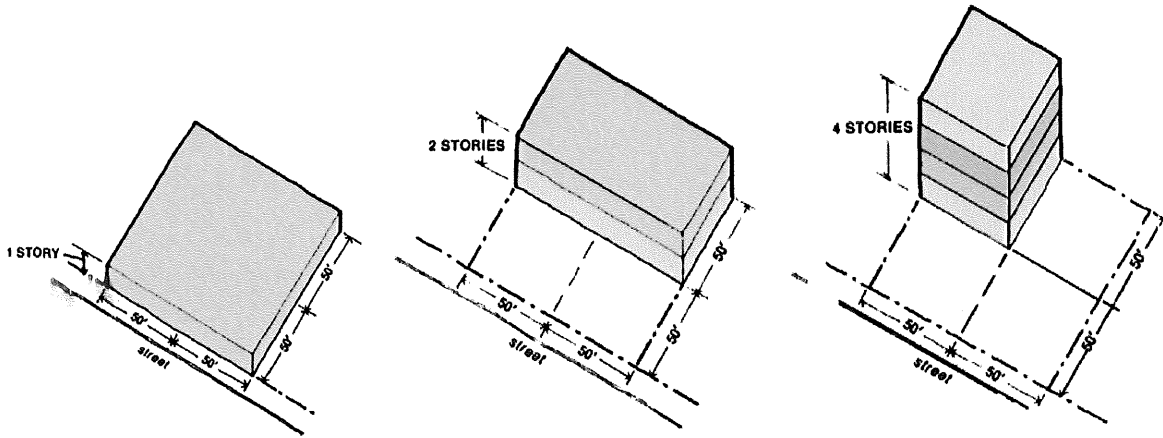
Concession Stand. A “concession stand” means a commercial stand operated or maintained for the sale of food or merchandise associated with a community-oriented open-air market.

Design Guidelines. “Design guidelines” means a regulatory document used in implementing the community’s design-related goals and objectives.

Farmers Market. Reference community-oriented open-air market for definition.

Floor finish. “Floor finish” means the exposed floor surface, including coverings applied over a finished floor, and includes, but is not limited to, wood, vinyl flooring, wall-to-wall carpet, and concrete.

Floor Area Ratio (FAR). “FAR” means the ratio of the floor area of a building to the area of the lot on which the building is located. The diagram below illustrates three simple ways that a 1:1 FAR might be reached: one story covering the entire lot, 2 stories covering half of the lot, or 4 stories covering a quarter of the lot all result in the same FAR.



Food. “Food” shall have its usual and ordinary meaning, and shall include all items designed for human consumption, including, but not by way of limitation, candy, gum, popcorn, hot dogs, sandwiches, peanuts, soft drinks, and dairy products.

Merchandise. “Merchandise” means clothing, toys, electronics, pictures, games, or other nonfood products for sale or rent.

Minimum Height of Ground Floor. “Minimum Height of Ground Floor” means the vertical distance from top to top of the successive finished floor surfaces; and, if the ground floor is the only floor above street grade, from the top of the floor finish to the top of the ceiling joists or, where there is not a ceiling, to the top of the roof rafters.

Mixed-use building. “Mixed-use building” means a building that contains a combination of residential and two or more different land uses, which may include office, commercial/retail, restaurant and/or public uses.

Mobile Vendors. “Mobile Vendor” means any person, form of corporation who engages temporarily in the business of selling food, and nonalcoholic beverages and/or other goods or services and delivering goods, wares or merchandise within the city, and who, in furtherance of such purpose, hires, leases, uses or occupies any building, structure or vacant lot, motor vehicle or trailer.

Pawnshop. “Pawn shop” means an establishment that engages, in whole or in part, in the business of loaning money on the security of pledges of personal property, or deposits or conditional sales of personal property, or the purchase or sale of personal property.

Primary Façade. “Primary facade” means those portions of a facade which are adjacent to or front on a public street, park or plaza.

Retail Stores. “Retail stores” means a permanent establishment engaged in selling goods or merchandise to the public for personal or household consumption, irrespective of the nature of the business, unless specifically excluded or differentiated as a different use. This definition may include department stores

and retail shops, whether as an independent establishment or as part of a larger development, but excludes vehicle sales, outdoor retail sales, eating and drinking establishments, and taverns among others.

Sales Area. “Sales area” means any stall, booth, stand, space, section, unit or specified floor area within a licensed community-oriented open-air market location where goods or services are offered or displayed by a vendor for the purpose of sale, trade, barter, exchange or advertisement.

Secondary Façade. “Secondary facade” means those portions of a facade that are adjacent to or front on alleys, private roads, trails or sidewalks.

Special Event. “Special event” means any event for which a special event permit has been issued pursuant to Chapter 5.28 MMC.

Story. “Story” means the space in a building from top to top of the successive finished floor surfaces or between a finished floor and the roof.

Tavern. “Tavern” means a commercial establishment licensed to sell alcoholic beverages for consumption on premises. Such establishments also usually offer food for on-site consumption, which may be prepackaged or prepared on premises.

18.10.030 Purpose of the commercial zoning districts.

C. Downtown commercial uses (DC) should follow the vision outlined in the Downtown Master Plan.

18.10.050 Zoning land use matrix.

NOTE: DOWNTOWN COMMERCIAL REFERENCES 18.12 UNDER PERMITTED USES

Example:

Zoning Matrix									
Conforming Use	Public Service	Limited Open Space	Limited Open Space – Airport	SR 15,000	UR 9,600	Downtown Commercial	Professional Office	Light Industrial	General Industrial
Accessory dwelling units				P7	P7	See 18.12 MMC			

18.10.120 Downtown, service and general commercial lot area requirements.

There shall be no minimum lot size in commercial zones with the exception of the Downtown Commercial zone; lot area requirement for individual Downtown Commercial neighborhoods are defined in Chapter 18.12 MMC. The district boundaries of a commercial zone shall not be less than one acre in size. (Ord. 1177, 1999)

18.10.220 Maximum lot coverage.

The total impervious area to be covered by buildings, driveways, parking areas, sidewalks, pools, and similar impervious surface areas shall not exceed the following percentage of a building lot area:

DC/GC/SC zone	There is no maximum lot coverage except as required by landscape, parking, and drainage open space requirements.*
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*See 18.12MMC Downtown Commercial (DC) zone for individual neighborhood requirements.

18.10.140 Building setbacks.

Downtown Commercial	DC	See 18.12 MMC	See 18.12 MMC	See 18.12 MMC	See 18.12 MMC	See 18.12 MMC	See 18.12 MMC	See 18.12 MMC
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Footnotes 2 and 3 from 18.10.140 are repealed in their entirety.

18.80.080 Downtown commercial.

- A. General. This section shall govern signage in all DC zoning district neighborhoods, except in the Rails and Roads Neighborhood, which will follow the General and Service Commercial sign standards per MMC 18.80.090.
- B. Residential uses in the downtown commercial zoning district shall follow the residential criteria set forth in MMC 18.80.040.
- C. Signage Calculation (Single Occupancy Building). Two square feet of signage per lineal foot of building frontage.
- D. Signage Calculation (Multiple Occupancy Building /Above Ground Floor Tenants). Two square feet of signage per lineal foot of tenant space, along the building frontage. .
- E. Site Signage Maximum (Single Occupancy Building). Not to exceed one hundred square feet of signage per site.
- F. Site Signage Maximum (Multiple Occupancy Building). The width of the signage is not to exceed two-thirds of the overall leased tenant façade area or be less than 3 feet from the demising wall of the tenant space.
- G. Bonuses
 - 1. Buildings/tenant spaces with frontage on two or more public rights-of-way/or buildings/tenant spaces with secondary pedestrian facades shall be granted an additional sign on that frontage to be calculated separately and not to exceed the maximum area limitations.
 - 2. Multiple occupancy buildings are allowed one directory sign per street frontage or secondary pedestrian façade, not to exceed six square feet in surface area to be located on the wall of the building next to the entrance.
 - 3. Single and multiple occupancy buildings are allowed one suspended sign per tenant space, per MMC 18.80.130
- I. Freestanding Signs.
 - 1. In the Downtown Commercial and Borlin Park Neighborhoods, freestanding sign are limited to monument signs, except along Lewis Street (SR203).
 - 2. Surface Maximum (Single Occupancy Building). Not to exceed thirty-two square feet per face, except along Lewis Street (SR203) where the sign face will not exceed fifty square feet.

3. Surface Maximum (Multiple Occupancy Building). Not to exceed forty-eight square feet per face, except along Lewis Street (SR203) where the sign face will not exceed eighty square feet.
4. Setback. The minimum sign setback will be five from the property line to the face of the sign, except in the Historic Main Neighborhood, along Main Street and Lewis Street, where there will be no minimum setback from property lines, provided, that the city engineer or designee approves visibility.
5. Height (Maximum). Not to exceed ten feet in height, except along Lewis Street (SR203) where sign height is not to exceed 20 feet.
6. Number Permitted. One per site, with the following exception:
 - a. Parcels with more than one street frontage shall be granted one additional freestanding sign; provided, that they are not located on the same frontage.

J. Location.

1. Signs shall not be located on, or at an elevation above, the ridge of the roof or the top of the roof deck.
2. Signs shall be positioned to complement the architecture of the building on which they are located. Signs shall not interrupt or overlap architectural features such as cornices, columns, trim and windows, etc., excluding interior applied window signs.
3. Signs shall not extend beyond the wall on which they are located; excluding approved projecting signs as referenced in MMC 18.80.120. (Ord. 029/2005 § 1)

18.86.085 Exemption for downtown commercial district – Historic Main Neighborhood

All residential uses shall meet the minimum parking requirements and nonresidential uses need only provide loading area per this chapter, except for the hotel/motel use, which shall provide one stall per rental unit/room; however, for new construction on-site parking is encouraged when feasible. (Ord. 1248, 2001; Ord. 1230, 2001)

18.86.050 Required number of parking spaces.

The minimum number of off-street parking spaces shall be as follows for the listed uses:

Required Off-Street Parking	
Single-family and multifamily dwellings ¹	2 for each unit
1. See chapter 18.12 for multi-family parking requirements in the Downtown Commercial zone.	

NOTE: Add footnote for single-family and multifamily dwellings, only. A

EXHIBIT E

**CITY OF MONROE
COMMUNITY DEVELOPMENT DEPARTMENT**

City of Monroe Downtown Planning Area

Borlin Park Neighborhood Design Guidelines

February 2009

Borlin Park Neighborhood Design Guidelines

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The Borlin Park Neighborhood Design Guidelines use imperative language such as “shall” and “must” to indicate high priority features and a strong directive toward satisfying the guidelines’ intent. Words such as “should” and “may” indicate desirable conditions or elements that are strongly encouraged. The “intent statements” preceding each section indicate the underlying objectives behind the guidelines and are included to assist in interpreting and applying the guidelines.

City staff, interested city groups, and city boards developed the Borlin Park Neighborhood Design Guidelines through a collaborative effort. The process of developing the guidelines involved many public meetings and workshops.

The following individuals and groups were instrumental in the preparation of the guidelines and standards contained in this document:

City of Monroe Community Development Department: Russ Wright and Ben Swanson
City of Monroe Planning Commission
City of Monroe City Council

Section 1 Borlin Park Neighborhood Design Guidelines

Purpose

These design guidelines provide a critical regulatory tool to implement the community’s design-related goals and objectives for the Borlin Park Neighborhood in the Downtown Planning Area. The Borlin Park Neighborhood Design Guidelines apply to new construction and exterior alterations of existing structures. Alterations and new construction should be consistent within the design context and reinforce the basic character of the area.

BP1.1 The Borlin Park Neighborhood Design Guidelines will:

- Create a framework to enhance the quality of the built-environment;
- Achieve quality contextual design, encourage a diversity of architectural styles;
- Provide design flexibility instead of aesthetic control;
- Create a pedestrian-oriented environment; and
- Provide investor and property owner confidence through design continuity.

Application

The Borlin Park Neighborhood Design Guidelines apply to the properties identified in Figure 1. The guidelines include a base set of required elements that all developments must follow and provide a menu of specific design options, to be included with each proposal, to allow flexibility for the applicant.

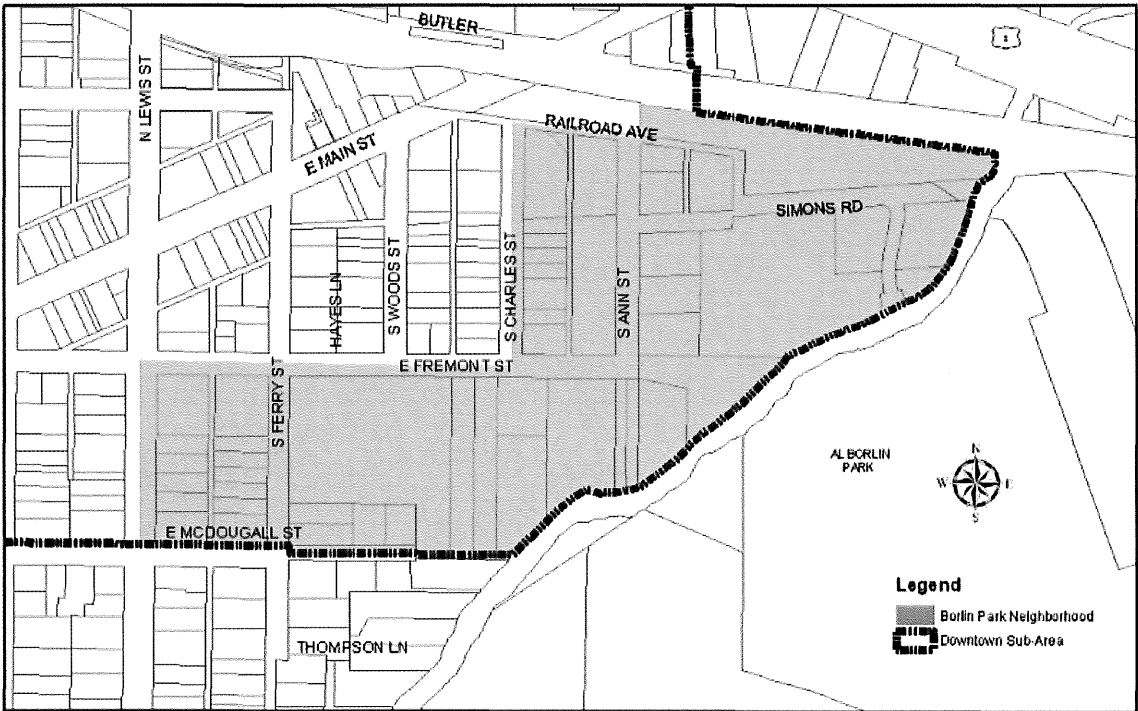


Figure 1 – Applicable properties subject to the Borlin Park Neighborhood guidelines

Section 2 General Design Guidelines

Development in the Borlin Park Neighborhood will include mixed-use and multifamily development that provides a safe environment for pedestrians to move throughout the planning area on foot. Due to the proximity of the neighborhood to Al Borlin Park, maintaining connectivity to the park is essential. Parcels located on the south side of East Fremont Street and east of South Ann Street are subject to the City of Monroe Shoreline Master Program and encouraged to provide access to the shoreline when feasible.

Required Design Elements					
<i>Streetscape Enhancements</i>	<i>Pedestrian-Oriented Space Enhancement</i>	<i>Human-Scale Architecture</i>	<i>Architectural Character</i>	<i>Building Techniques, Materials, & Finishes</i>	<i>Screening</i>
Align primary facades along the street frontage	Provide public access to Al Borlin Park	Align horizontal elements	Use a variety of building materials & finishes	Provide high-quality building materials, with a low, life cycle cost	Enhance surface parking areas with landscaping
Provide parking in structures or at the rear or side of buildings	Provide pedestrian amenities,	Divide building facades into modules	Provide special decorative elements & features	Incorporate "green" building methods	Screen areas for service & mechanical equipment
Combine access points with adjacent tracts	Integrate decorative paving	Include significant building elements and focal points	Integrate window design	Use varied siding & roofing materials	Screen, trash storage, & service areas
Decorative paving	Install enhanced landscaping	Provide a defined building top, middle, and base	Vary roof design	Utilize typical Northwest color palette	
Provide native landscaping to provide seasonal interest, color, & texture	Provide enhanced or articulated building entrances	Articulate building elements	Integrate high-quality lighting design		

Table 1 – Required design elements

Placement and Orientation

Building placement and orientation should provide an attractive pedestrian environment, improve the character of the streetscape within and surrounding the area, enhance the use and safety of open spaces, and provide attractive building facades.

BP2.1 Streetscape and alignment of buildings – The streetscape design for the Borlin Park Neighborhood will establish visual continuity throughout the area with the following elements:

- The addition of texture or color to key sidewalks and pathways with unit pavers, bricks, tiles, pavers, or colored and textured concrete;
- Landscape elements to define the sidewalk edge;
- Pedestrian crosswalks at all intersections defined by distinctive paving;
- Minimizing the visual impact of parking areas through locating them in structures or underground, at the side, or rear of buildings, and providing enhanced landscaping;

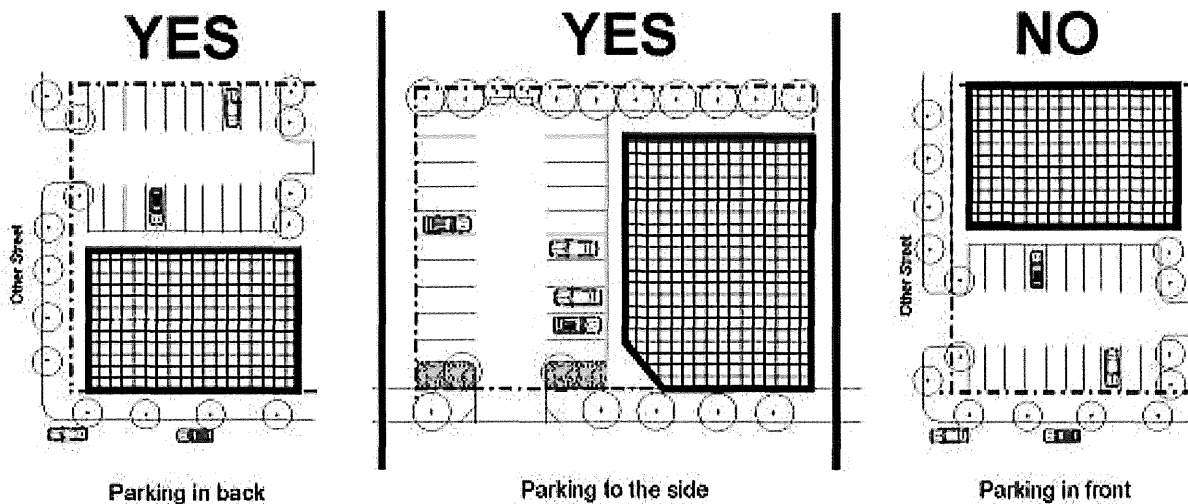


Figure 2 – Preferred parking configurations

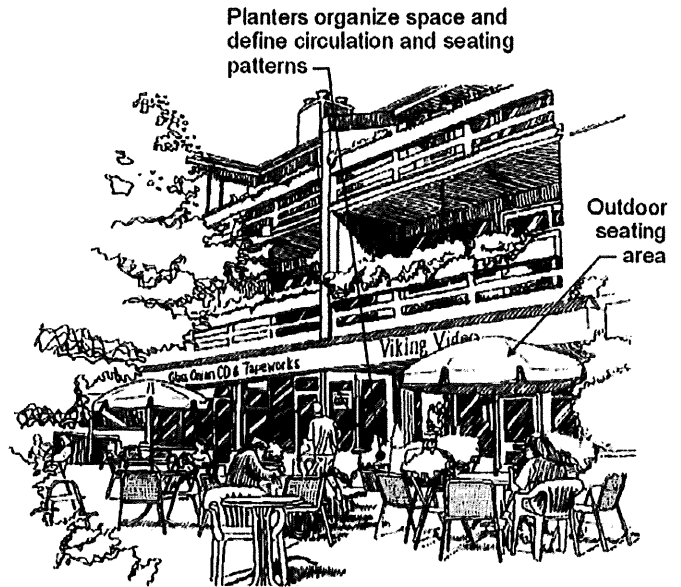
- Parking structures adjacent to public streets shall be designed with commercial space(s) along the street;
- Vehicular entrances and other ground floor openings for the parking structure are allowed, but must comply with facade standards and street frontage requirements;
- Provide pedestrian-oriented spaces with special amenities; and
- Designate primary pedestrian facades, secondary pedestrian facades, and side or rear facades.

BP2.2. Pedestrian-oriented spaces – The Borlin Park Neighborhood encourages the development of a pedestrian-oriented environment that promotes public activity along the street. Pedestrian-oriented spaces are required along street level buildings and near key building entries and may include:

- Widened walkways and landscaped areas;
- A mix of public amenities such as areas for outdoor dining, drinking fountains, distinctive paving, public art or water features;
- Accent lighting to accentuate key landscape and architectural features;
- Visual and pedestrian access (including barrier-free access) to abutting structures and public streets or pathways;

- Outdoor seating area at least two feet of seating area or one individual seat 16 inches deep, per 60 SF of plaza or open space that may include benches, low walls, stairs, or ledges; and
- Buildings abutting pedestrian-oriented space must have visually interesting pedestrian-oriented facades, with defined architectural details, that avoid blank walls or the appearance of a vacant lot.

Figure 3 – Pedestrian-oriented space.



BP2.3 Primary pedestrian facades – Primary pedestrian facades are located along public streets and at pedestrian-oriented spaces and include the following mandatory elements:

- Defined primary building/business entry;

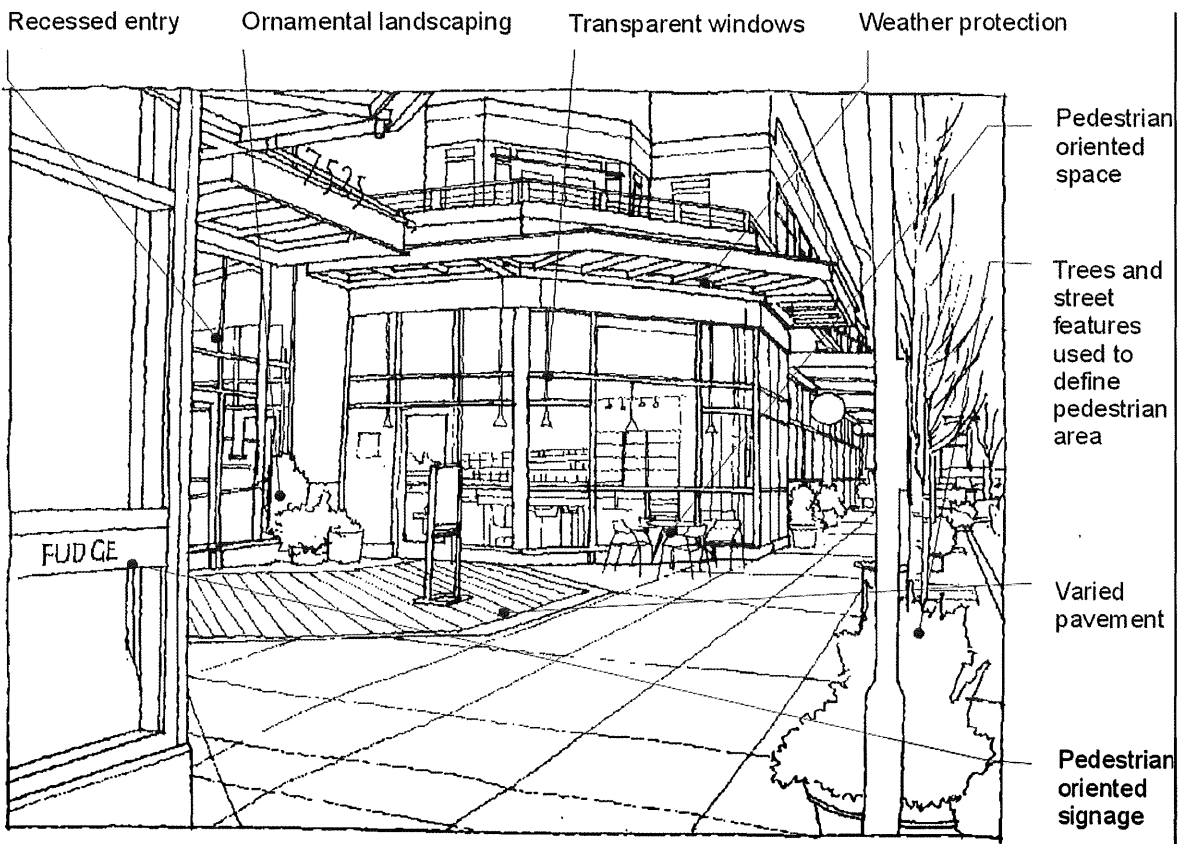


Figure 4 – Primary pedestrian facade entry example

- Weather protection features are encouraged to extend along 100 percent of the facade, with a minimum required coverage of 75 percent, that may include awnings, canopies, pergolas, and/or overhangs compatible with the overall scheme of the facade;
- Storefront windows over at least 75 percent of the facade on the ground floor between two (2) feet to eight (8) feet above the ground;

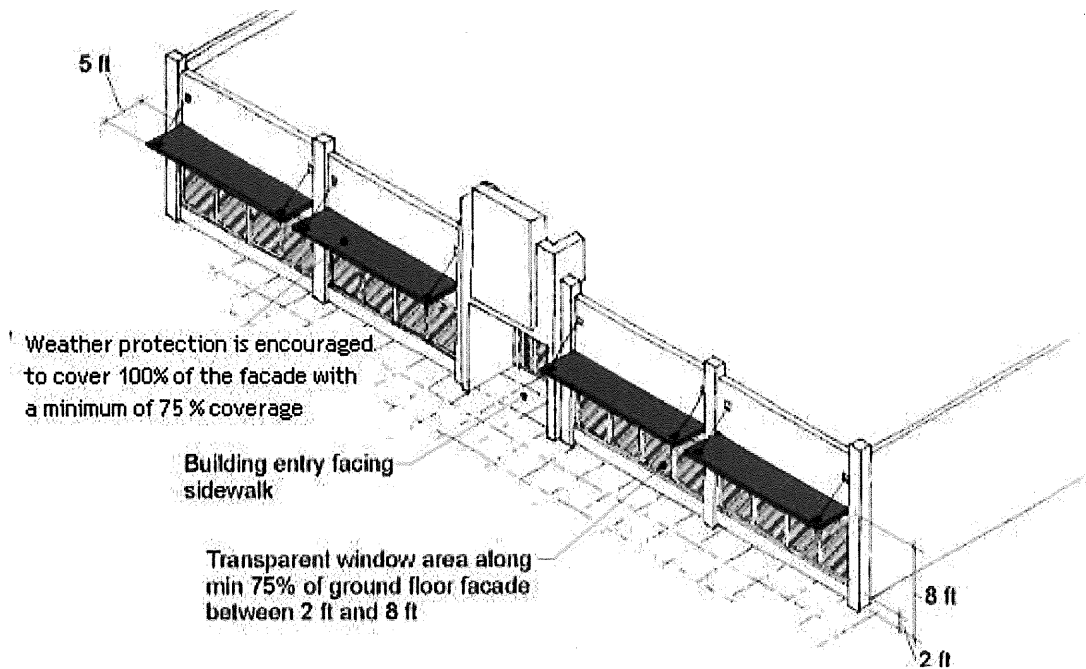


Figure 5 –This illustration shows a building incorporating weather protection and storefront windows along a primary pedestrian facade

- Multi-story structures with windows or balconies overlooking the shoreline/Al Borlin Park are encouraged to provide a sense of visual interest and neighborhood security;
- Pedestrian-oriented lighting and/or decorative facade details should be provided; and
- High-quality signage integrated into the building design.

BP2.4 Secondary Pedestrian Facades – Secondary pedestrian facades are located adjacent to parking lots, alleys, pedestrian pathways, or streets. When a building/business is not adjacent to a public street, the primary entrance may be located next to an adjacent parking lot, pedestrian pathway, or alley (subject to city approval) and include the following mandatory elements:

- Weather protection features along at least 50 percent of the facade that may include awnings, canopies, pergolas, and/or overhangs that are compatible with the overall scheme of the facade;
- Storefront windows over at least 50 percent of the facade on the ground floor between two (2) feet to eight (8) feet above the ground;
- Pedestrian-oriented lighting and/or decorative facade details;
- Buildings/businesses facing a public street on one side and a parking lot, pedestrian pathway, and/or street on other sides, are strongly encouraged to provide a secondary building/business entry from the parking lot, pedestrian pathway, or alley; and
- High-quality signage integrated into the building design.

- Blank walls must be treated as shown in Figure 6.
 - Planters or trellises with vines
 - Landscaping that covers 30 percent of wall area within three years of planting
 - Special materials (e.g., decorative patterned masonry)
 - Display windows
 - Other city approved treatments

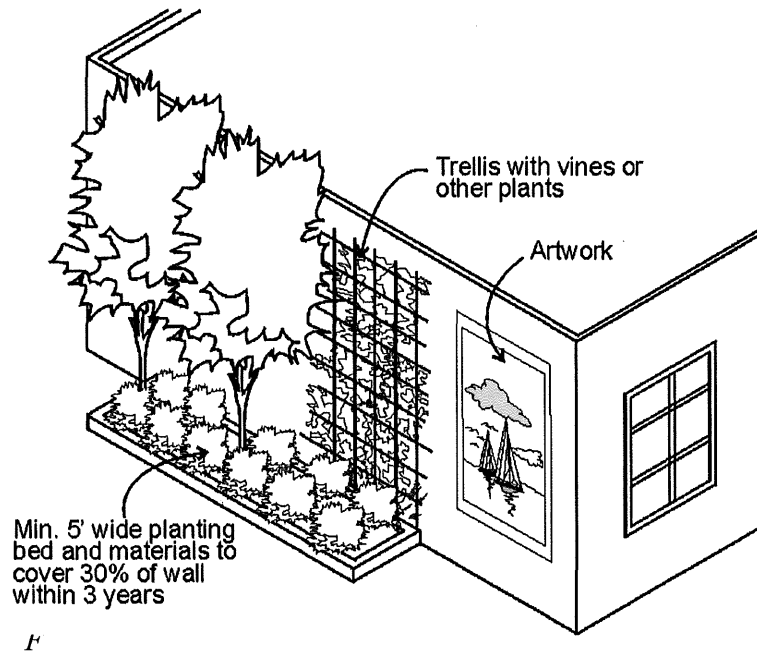


Figure 6 – Blank wall treatments

BP2.5 Side and Rear Pedestrian Facades – Side and rear facades are those building facades not adjacent to areas outlined above. Pedestrian building/business entries may not be required next to side and rear facades, but they are encouraged depending on specific site characteristics. Side and rear facades shall be treated in two or more ways, as shown in Figure 6.

Massing and Scale

Although building heights may vary, most new buildings will be between one and five stories. The building scale within the Borlin Park Neighborhood is intended to create intimately scaled buildings (i.e., buildings that appear to be smaller). Maintaining scale may be accomplished by constructing a building within this height range and by using design elements to ensure consistency with the area’s identity.

BP2.6 Maintain the visual building scale of one to five stories in height

- Develop a primary facade that is in scale and alignment with surrounding buildings.
- Mixed-use buildings may be one to five stories, with a maximum height of 55 feet.
- Non mixed-use buildings may be one to three stories with a maximum height of 35 feet.
- Buildings taller than three stories must step back upper stories.



Figure 7 – This example shows the stepping back of upper stories

- The passage of sunlight should be considered within the planned development area when considering the height of buildings adjacent to open spaces.
- Special features such as non-habitable towers or clerestories proposed solely for architectural aesthetics may exceed the maximum height, if approved by the city.

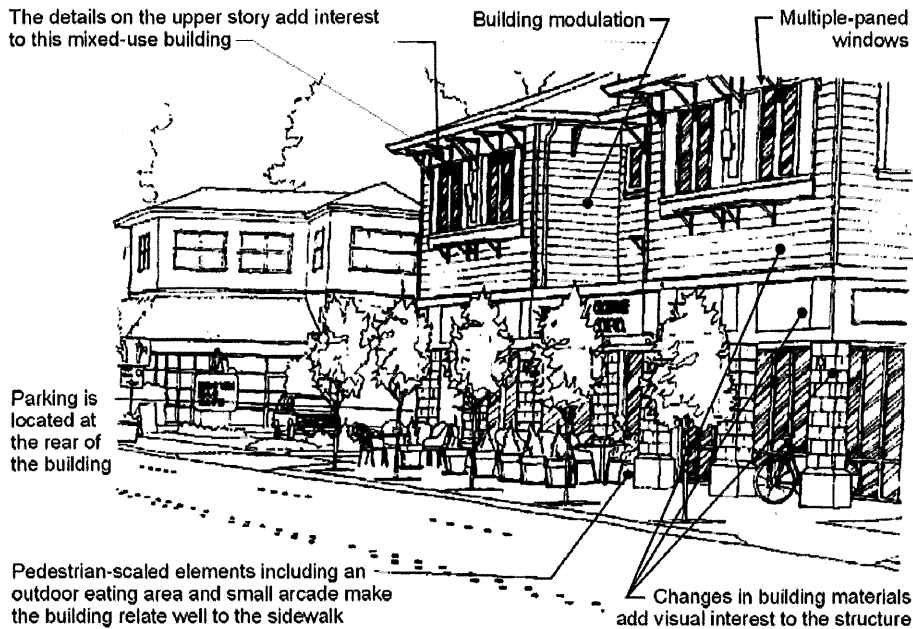


Figure 8 – This illustration shows key design elements of scale, modulation, varied materials

BP2.7 A new building should maintain the alignment of horizontal elements along the block

- Align horizontal architectural elements.
- Floor-to-floor heights should appear to be similar.
- Design lower levels to express the alignment of elements seen in the block.

BP2.8 Divide larger buildings into “modules” that are similar in scale – Buildings with visible facades over 100 feet in length parallel to a roadway, parking area, pedestrian connection, or open space must include vertical and horizontal articulation. Articulation may be accomplished in several ways:

- Express modules three-dimensionally along the building’s exterior, limited to 50 feet in length;
- Step back or project portions of the facade;
- Include significant building elements and focal points such as distinctive entries, balconies, porches, canopies, towers, or entry areas that visually break up the facade;

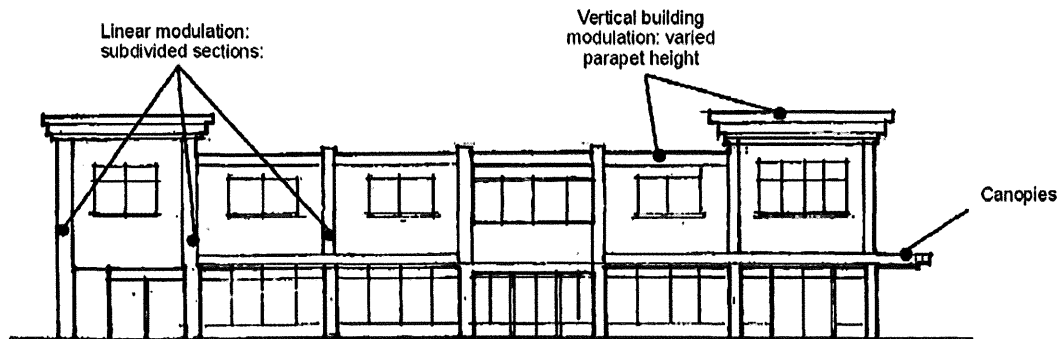


Figure 9 – Building articulation with varied recessed entries.

- Provide a defined building top, middle, and base to emphasize human-scale architecture;



Figure 10– Building facade with a distinct top, middle, and bottom

- Change the roofline;
- Vary finish materials; and
- Other methods acceptable to the city.

Architectural Character

The unifying theme for the Borlin Park Neighborhood is to create a neighborhood identity that incorporates the substantive use of building elements and materials that emphasize contemporary Northwest design, but maintain Monroe’s small town character.

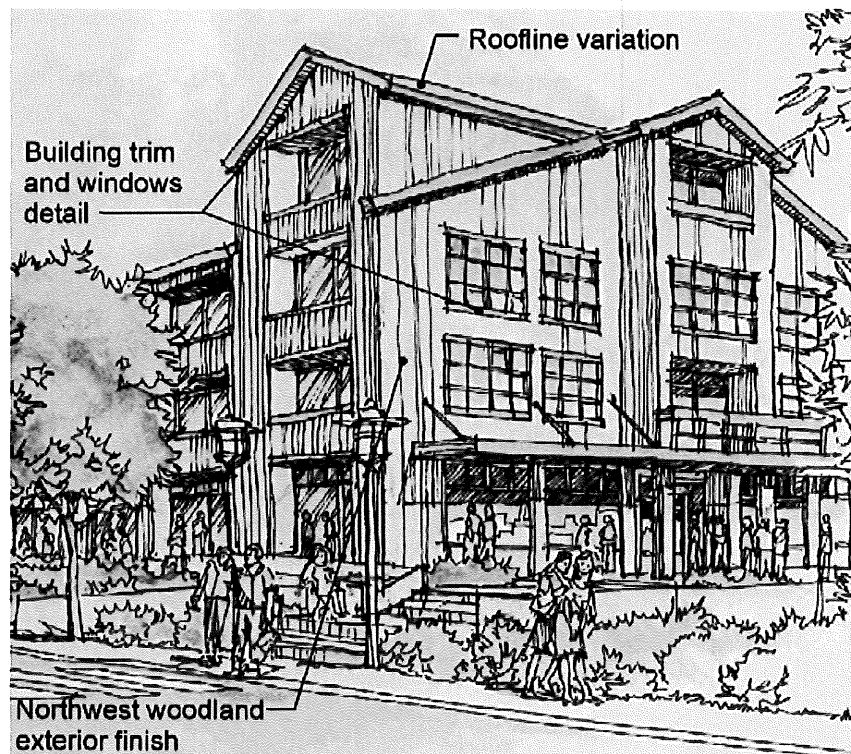


Figure 11 –This illustration shows varied design elements that are representative of the Borlin Park Neighborhood design context

BP2.9 Architectural concept – Incorporate the substantive use of building elements and materials that emphasize contemporary Northwest design, but maintain Monroe’s small town character.

- Provide well-designed, detailed buildings that highlight subtle and refined design elements and minimize corporate identity (e.g., stock buildings and signs).
- Stylistically distinguish new buildings from existing buildings.
- Create a varied, non-homogenous set of buildings within the neighborhood that provide a sense of evolution rather than the appearance of a one-step development.

BP2.10 Design Elements – The buildings proposed for the Borlin Park Neighborhood should follow a comprehensive architectural concept and should include specific design elements, including but not limited to:

- Articulated building elements;
- Permanent pedestrian weather protection;
- Decorative building materials, such as tile, timbers, and metalwork ;
- Enhanced or articulated building entrances (recessed or covered);
- Pergolas, arcades, porches, decks, or bay windows;
- Functional balconies in upper stories;
- Legible address numbers from public streets or pathways fronting the property or building; and
- Signage must be of high-quality materials, consistent with the design of the Borlin Park Neighborhood, and integrated into the building architecture

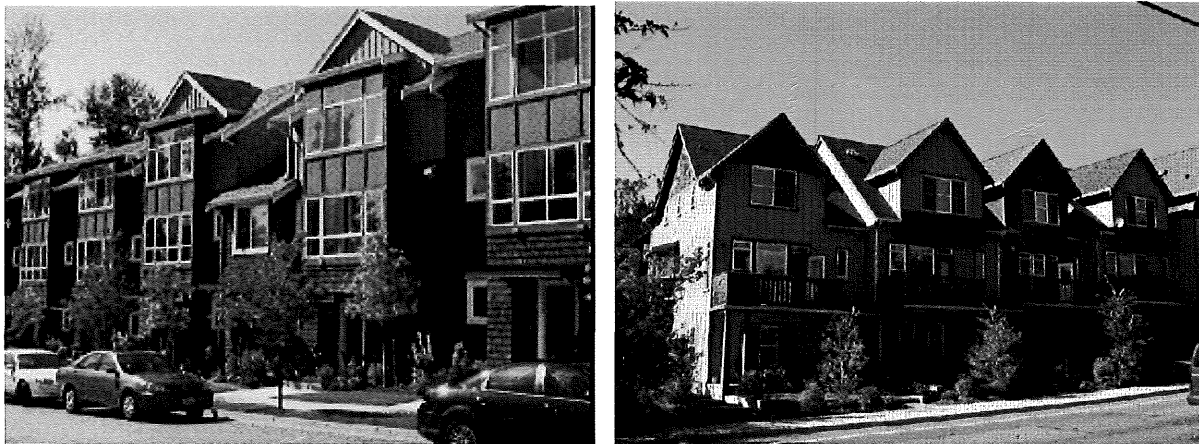


Figure 12 – Examples of appropriate multifamily and mixed-use buildings that incorporate desirable design elements representative of the Borlin Park Neighborhood including canopies, decks, upper level setbacks, trellises, and varied roof forms



BP2.11 Window Design

- Provide multi-paned window fenestration (windows with several panes separated by mullions).
- When windows are not part of a multi-paned window, the window should have a vertical orientation (i.e., be longer in the vertical dimension than in the width) or be square.

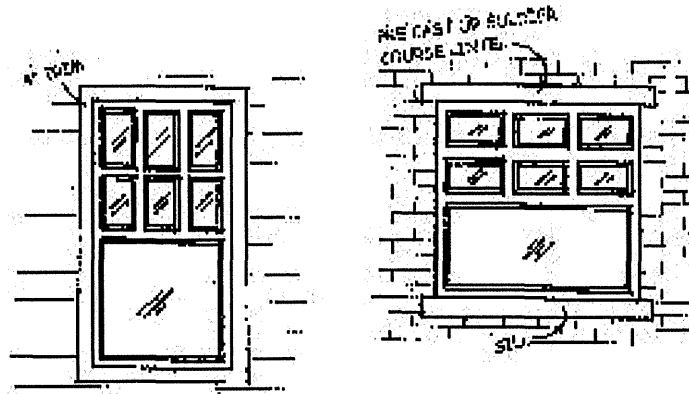


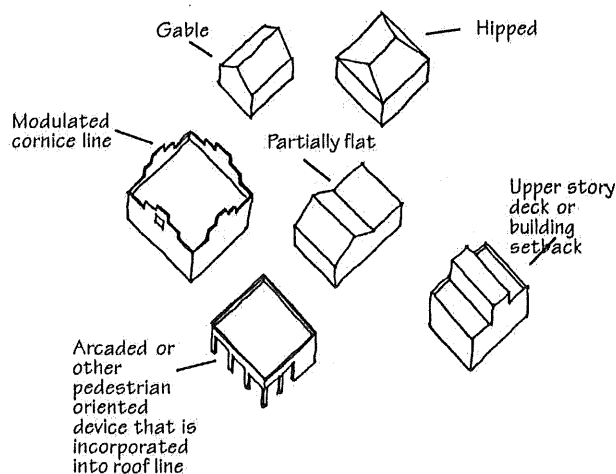
Figure 13 – This illustration shows appropriate single window forms

BP2.12 Roof Design

- Include a variety of roof slopes, details, materials, and configurations.
- Provide scale-reducing elements that change the roofline by alternating dormers, stepped roofs, gables, or other elements to reinforce the modulation or articulation interval.
- Flat-roofed designs shall include architectural details such as cornices, and decorative facings to provide interest to the roofline visible from the ground level. Architectural details should not appear as applied elements.



Figure 14 – This example and illustration show different types of roof configurations



BP2.13 Lighting Design

- Exterior lighting fixtures shall be high quality, incorporate architectural detail, and maintain a pedestrian-scale.
- Pedestrian-scaled lighting (light fixtures no taller than 15 feet) is required in areas of pedestrian activity.

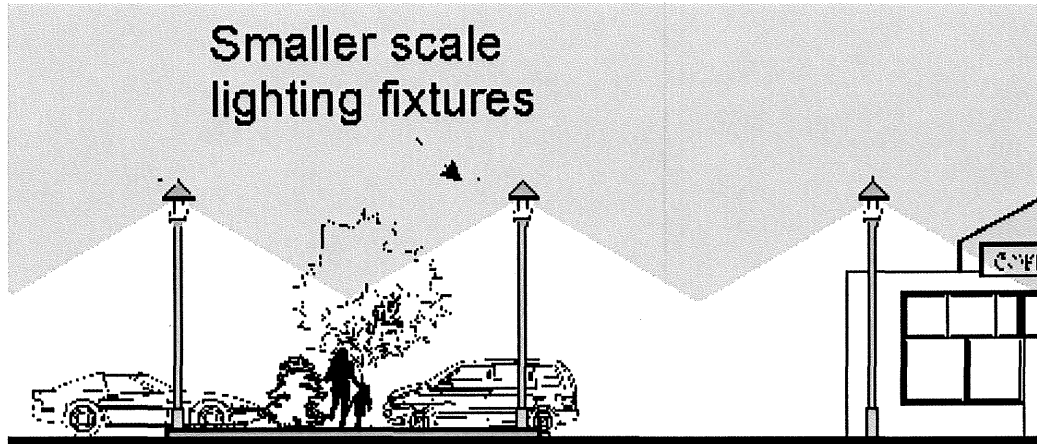


Figure 15 – This example shows appropriate freestanding light fixtures

- Accent lighting may be incorporated in design to draw attention to special building and/or landscape features.
- Up-lighting on trees and provisions for seasonal lighting are encouraged.
- Ensure that lighting meets applicable Monroe Codes

BP2.14 Landscaping

- Provide landscaping that creates visual continuity throughout the Borlin Park Neighborhood.
- Encourage the use of hardy, attractive, and easily maintained native Northwest plant material to provide multi-seasonal interest, color, and texture.
- Promote the use of trees and shrubs as a unifying design element to strengthen the image and continuity of the streetscape and frame the human-made elements with a natural backdrop.

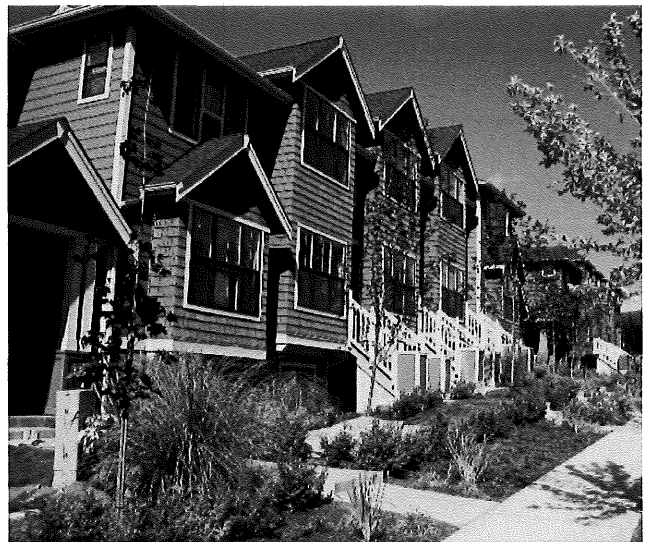


Figure 16– This example shows appropriate landscaping along the front of these townhomes

- Encourage enhanced landscaping in public-oriented spaces and along walkways. Enhanced landscaping may include landscape areas that exceed minimum standards by 10%, integrated rock walls and/or boulders, and special features such as public art, water features, or accent lighting.

BP2.15 Public Art and water features

- Public art including sculpture, murals, inlays, mosaics, friezes, or bas-reliefs are encouraged.
- Locate public art in areas which are accessible or visible to pedestrians from an adjacent sidewalk or plaza, but that does not hinder pedestrian traffic.
- Locate water features in areas accessible or visible to pedestrians from an adjacent sidewalk or plaza.
- Water features should use water efficiently with low water loss from evaporation and wind.



Figure 17 – Examples of public art in public-oriented spaces



Building Design Materials and Finish

New construction or exterior alterations must use durable, high-quality building materials, with a low, life cycle cost, of typical use in the Northwest. New development in this neighborhood is encouraged to use low-impact development techniques, be energy efficient, and/or meet LEED standards



Figure 18 – Example of a multifamily neighborhood that shows varied design elements that are representative of the Borlin Park Neighborhood design context

BP2.16 Low-Impact Development / LEED Certification – New construction in the Borlin Park neighborhood is encouraged to use “green” building methods and incorporate low-impact development techniques, be highly energy efficient, and/or or seek varying levels of LEED certification.

- Achieve LEED Certification (Silver, Gold, Platinum Rating)
- Employ low-impact development techniques that may include “green-roofs,” porous paving, tree retention or other methods, as defined in the *Low Impact Development Technical Guidance Manual for Puget Sound*.
- Incorporate high-efficiency building materials, systems, and techniques into new construction.

BP2.17 Siding Material

- Wood
- Bevel or lap siding
- Rock, stone, and brick material
- Sheet Metal

- Sheet materials, such as composite fiber products or metal siding, when used as a siding material shall be limited to no more than 25 percent of a building’s facade and must include the following elements:
 - A matted finish in a neutral or earth tone color as specified in color guidelines;
 - Visible window and door trim painted or finished in a complementary color; and
 - Corner and edge trim that covers exposed edges of the siding material.
- If concrete blocks (concrete masonry units or “cinder blocks”) are used for walls that are visible from a public street or park, use one or more of the following architectural treatments:
 - Use of textured blocks with surfaces such as split-face or grooved;
 - Use of colored mortar; and
 - Use of other masonry types, such as brick, glass block, or tile, in conjunction with concrete blocks.
- The city may approve other treatment methods when the applicant provides the city with samples of the material, proposed detail connections, and a list of other project examples in the Puget Sound Region that have used this application.



Figure 19 – Mixed-use building that shows variation in siding material

BP2.18 Roofing Material

- Architectural shake-style roofing
- Metal roofs with standing seams
- Flat roofs or non-visible roof segments can use standard industry materials

- The city may approve other treatment methods when the applicant provides the city with samples of the material, proposed detail connections, and a list of other project examples in the Puget Sound Region that have used this application.

BP2.19 Colors

- Muted, neutral, or earth tone colors are encouraged for the background color of most buildings. Darker background colors allow the effective use of lighter colors for trim – where the highlights will show up better.
- Bright colors should generally be reserved for accents. Doors or special features may be painted a bright accent color.
- Paint all vents, gutters, downspouts, flashing, and electrical conduits to match the color of the adjacent surface, unless they are being used expressly as a trim or accent element, or if the surface is made of an unpainted material such as brick.



Figure 20 – This example demonstrates appropriate use of color

BP2.20 Prohibited Materials and Colors – The following materials are not allowed in visible locations unless an exception is granted by the city:

- Non-durable siding materials like T-111 type Plywood, corrugated metal or fiberglass;
- Mirrored glass;
- Corrugated fiberglass;

- Chain-link fencing (with or without slats);
- Synthetic materials with reflective surfaces, including glossy vinyl siding;
- Bright luminescent or day-glow colors; and
- Signs employing moving or flashing lights, exposed electrical conduits, visible ballast boxes or other equipment, or that are made of luminous plastic sheets.

Mechanical Equipment and Service Utilities

Utility service boxes, telecommunication devices, cables, conduits, trash, and recycling storage may affect the character of an area. Mechanical equipment and service utilities should be located in an area not visible from a public street and must be screened from public view to avoid negative effects on building design.

BP2.21 Minimize the visual impact of mechanical equipment on the public way

- Screen equipment from view.
- Do not locate window air conditioning units on a primary facade.
- Use low-profile or recessed mechanical units on rooftops.
- Locate satellite dishes out of public view.

BP2.22 Minimize the visual impacts of trash storage and service areas

- Locate service areas away from major pedestrian routes; locate them at the rear of a building, off an alley, when possible.
- Screen dumpsters from view.
- Ensure that all screens meet applicable Monroe Codes.

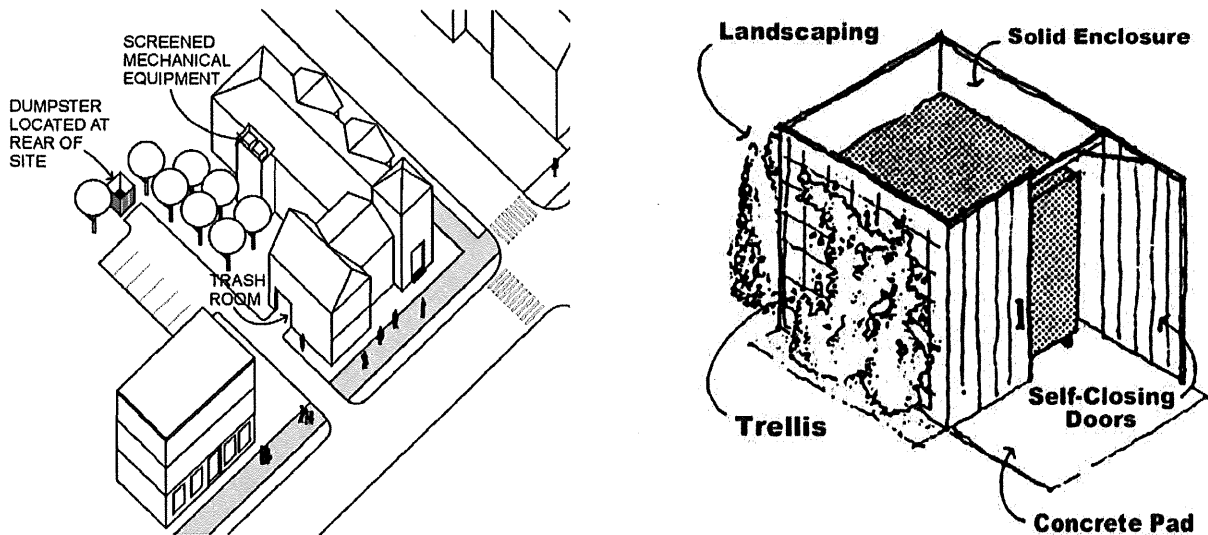


Figure 21 – These illustrations show screening of mechanical equipment and service areas

BP2.23 Minimize the visual impacts of utility connections and service boxes

- Locate utility connections and service boxes on secondary walls when feasible.
- Roof-mounted mechanical equipment (HVAC) must be screened from view.

Section 3 Application of Design Elements

The guidelines discussed in Section 2 General Design Guidelines refer to common required design elements that all new construction and exterior remodels must include in the Borlin Park Neighborhood. This chapter provides detailed descriptions of architectural amenities that must be included in proposed developments. Each required element includes a list of menu categories that characterize the goal(s) of the element, in relation to the design guidelines. New developments and exterior remodels must incorporate the required elements defined throughout Section 2. In turn, the listed menu categories are further broken down into specific enhancements that provide a range of possibilities to achieve design compatibility, when one or more options from each menu category are integrated into the design of the development. However, to provide flexibility, not all listed design options and enhancements are required in every project. Through the process of choosing preferred enhancements, individual projects will maintain continuity with the neighborhood concept, while expressing an individual character.

Typically, city staff will review projects administratively to determine design compatibility; however, the city reserves the right to hire an independent qualified professional, at the applicant's expense, to review and comment on project reports and/or plans for consistency with the design guidelines.

BP3.1 Required Elements – Every development or exterior remodel must include some of the design features listed as required elements below:

- Streetscape Enhancements
- Pedestrian/Public-Oriented Space Enhancement
- Human-Scale Architecture
- Architectural Character
- Building Techniques, Materials, & Finishes
- Screening

BP3.1 Menu of Design Options and Enhancements – To achieve design compatibility, every development must incorporate one or more of the listed design options and enhancements from each menu category, as an integrated part of the development's overall design. The individual enhancements and design options listed in the following tables are not an exhaustive list of acceptable methods and enhancements. The tables list common design features, described throughout this document, that are appropriate to the Borlin Park Neighborhood. Individual developers may propose additional methods and enhancements that relate to the established menu categories that are consistent with the overall design theme, for review and approval. The city will consider other treatment methods, buildings enhancements, and materials when the applicant provides the city with samples of the material, proposed detail connections, and a list of other project examples in the Puget Sound Region that have used these alternative methods of applications.

Design Menu Key

- The required elements discussed in Section 2 are shown in bold, inside the shaded boxes, along the top row of each table.
- The menu categories are shown in italics, in the second row of each table.
- Individual enhancements and design options follow below each menu category column in a bulleted list.

Streetscape Enhancements				
<i>Building Alignment</i>	<i>Parking Preferences</i>	<i>Access and Circulation</i>	<i>Decorative Paving¹</i>	<i>Landscaping</i>
<ul style="list-style-type: none"> • Align primary building facades & entrances along street frontage • Align secondary facades adjacent to alleys & parking areas 	<ul style="list-style-type: none"> • Parking structure (under-ground or street level behind commercial suites) • Surface parking at rear of building • Surface parking at side of building 	<ul style="list-style-type: none"> • Common access point from public street, alley, or private road with adjacent property • Provide well-lit, landscaped pedestrian paths between residential complexes, the street, & adjacent commercial properties 	<ul style="list-style-type: none"> • Decorative paving at pedestrian crossing to distinguish this area from primary paved surfaces • Decorative paving at key sidewalks & pathways • Mark pedestrian routes with changes in paving & landscaping 	<ul style="list-style-type: none"> • Provide landscaping & special features to define the street edge • Provide landscaping & special features to create seasonal interest, color, & texture

Table 2 – Streetscape Enhancements

Pedestrian-Oriented Space Enhancements				
<i>Public Access to Al Borlin Park & Shoreline</i>	<i>Pedestrian Amenities</i>	<i>Decorative Paving¹</i>	<i>Enhanced Landscaping</i>	<i>Enhanced Building Entrances</i>
<ul style="list-style-type: none"> • Visual access to shoreline from accessible viewing points, as applicable from adjoining properties • Pedestrian access through easements, when feasible from adjoining properties 	<ul style="list-style-type: none"> • Distinctive entries • Weather protection features • Storefront windows • Enhanced landscaping • Outdoor seating • Decorative & accent lighting • Public art &/or water features 	<ul style="list-style-type: none"> • Decorative paving to mark pedestrian crossing • Decorative paving at building focal points or entrances • Mark pedestrian routes with changes in paving & landscaping 	<ul style="list-style-type: none"> • Landscaping to exceed base municipal code standards by 10% • Use special features, such as rocks, public art, water features, or decorative lighting 	<ul style="list-style-type: none"> • Articulated entrance • Special features • Public art • Bay windows • Distinctive materials

1. Decorative paving must meet ADA requirements.

Table 3 – Pedestrian-Oriented Space Enhancement

Human-Scale Architecture				
<i>Align Horizontal Elements</i>	<i>Divide Buildings Into Modules</i>	<i>Significant Building Elements</i>	<i>Defined Building Top, Middle, & Base</i>	<i>Articulate Building Elements</i>
<ul style="list-style-type: none"> • Align windows • Align floor height • Align common architectural features 	<ul style="list-style-type: none"> • Provide vertical & horizontal articulation • Step back or project building elements • Varied finish materials • Varied roof lines 	<ul style="list-style-type: none"> • Turrets • Balconies • Porches • Pergolas • Decorative lighting • Dormers • Multi-paned windows • Weather protection • Mullions • Parapet • Public art 	<ul style="list-style-type: none"> • Top – varied roof slopes, strong eave lines, cornices, parapet, etc • Middle – window details, balconies, rails, varied material, etc • Bottom – Pedestrian scale details & facades 	<ul style="list-style-type: none"> • Modules • Step back or project portions of the facade • Significant building elements & focal points that break up the facade

Table 4 – Human-Scale Architecture

Architectural Character				
<i>Varied Building Materials & Finishes</i>	<i>Decorative Elements & Features</i>	<i>Window Design</i>	<i>Roof Design</i>	<i>High-Quality Lighting</i>
<ul style="list-style-type: none"> • Wood • Lap siding • Shingles • Sheet metal • Stone & cast stone • Masonry 	<ul style="list-style-type: none"> • Turrets • Balconies • Porches • Pergolas • Decorative lighting • Dormers • Multi-paned windows • Weather protection • Mullions • Parapet • Public art 	<ul style="list-style-type: none"> • Horizontal window alignment across the facade • Window trim • Multi-paned windows • Vertical windows • Square windows 	<ul style="list-style-type: none"> • Gables • Dormers • Cornices • Varied roof slopes • Varied Materials 	<ul style="list-style-type: none"> • Architectural wall mounted fixtures • Architectural light posts/ luminaries • Decorative finishes (brushed nickel, antique brass, etc) • Decorative accent lighting

Table 5 – Architectural Character

Building Techniques, Materials, & Finishes			
<i>High-Quality Building Materials</i>	<i>Incorporate "Green" Building Methods</i>	<i>Use Varied Siding & Roofing Materials</i>	<i>Northwest Color Palette</i>
<ul style="list-style-type: none"> • Materials with a low, life cycle cost • Wood • Sheet metal • Stone & cast stone • Masonry 	<ul style="list-style-type: none"> • LEED Certification • Low Impact Development • Rain Gardens • Porous Pavement • Green Roofs • Energy conservation features • Etc. 	<ul style="list-style-type: none"> • Siding - Lap siding, board & batten, shingles, sheet metal, stone, cast stone, masonry, etc • Roof – architectural shingles, standing-seam sheet metal, etc 	<ul style="list-style-type: none"> • Muted tones • Earth tones • Contrasting trim • Accent color

Table 6 – Architectural Character

Screening		
<i>Enhance surface parking areas with landscaping</i>	<i>Screen areas for service & mechanical equipment</i>	<i>Screen trash, storage, & service areas</i>
<ul style="list-style-type: none"> • Enhanced landscaping • Enhanced public walks 	<ul style="list-style-type: none"> • Screen with landscaping • Structures • Fencing 	<ul style="list-style-type: none"> • Screen with landscaping • Structures • Fencing

Table 7 – Screening

Section 4 Glossary of Design Elements

Arcade – Arcade means (1) A range of arches carried on piers or columns, freestanding or blind, i.e. attached to a wall; (2) A covered passage with shops on one or both sides; or (3) An exterior covered passageway along a building facade open to the street frontage.

Architrave – Architrave means the lintel extending from one column or pier to another and the lowest of the three main parts of an entablature.

Articulation – Articulation means a design emphasis placed on a particular architectural feature using special details, materials, change in building plane (recessed or extended from building surface), contrast in materials, or decorative artwork.

Awning – Awning means a roof-like cover extending over or in front of a place (as over the deck or in front of a door or window) as a shelter.

Balcony – Balcony means an outdoor space built as an above-ground platform projecting from the wall of a building and enclosed by a parapet or railing.

Bay Window – Bay window means typically a multi-paned window protruding from the main exterior wall.

Blank Walls – Blank wall mean a wall subject to "blank wall" requirements that meet the following criteria:

- Any wall or portion of a wall that has a surface area of 400 SF of vertical surface without a window, door, or building modulation or other architectural feature; and
- Any ground level wall surface or section of a wall over 4' in height at ground level that is longer than 15' as measured horizontally without having a ground level window or door lying wholly or in part within that 15' section.

Cement Siding – Cement siding means a combination of Portland cement, ground sand, cellulose (wood) fiber that when mixed with water allows for the creation of planks, panels, and shingles (exterior cladding) that is resistant to burning and rotting.

Clerestory or Clearstory Window – Clerestory means the upper stage of the main walls of a church above the aisle roofs, pierced by windows; the same term is applicable in domestic building.

Cornice – Cornice means in classical architecture, the top, projecting section of an architrave, also any projecting ornamental molding along the top of a building, wall, arch, etc., finishing or crowning it.

Courtyard – Courtyard means a landscaped space enclosed on at least three sides by a structure(s).

Cupola – Cupola means a small dome or other shaped roof projection crowning a roof or turret.

Curtain Wall – Curtain wall means a non-load-bearing wall, which can be applied in front of a framed structure to keep out the weather and may include a continuous curtain wall of steel and glass separating 'structure' from 'cladding'.

Deck – Deck means a roofless outdoor space built as an above-ground platform projecting from the wall of a building or above an occupied building floor and connected to the ground by structural supports.

Decorative Paving – Decorative paving means any paving surface that includes colored, textured, or stamped pavement, in addition to decorative unit pavers, bricks, tiles, or pavers.

Eaves – Eaves mean the under-part of a sloping roof overhanging a wall.

Engaged Column – Engaged columns means a column attached to, or partly sunk into, a wall or pier, also called an applied column or attached column.

Entablature – Entablature means the upper part of an order, consisting of architrave, frieze, and cornice.

Façade – Façade means the principal face, front elevation, or vertical surface of a building, which is set along a frontage.

Floor Area Ratio (FAR) – FAR means the amount of building floor area in relation to the amount of site area, expressed in square feet. For example, a floor area ratio of 2 to 1 means two square feet of floor area to every one square foot of site area.

Frieze – Frieze means the middle division of an architrave, between the architrave and cornice; usually decorated but may be plain.

Frontage – Frontage means the portion of a parcel of property, which abuts a dedicated public street or highway or an approved public street.

Landscaping – Landscaping means an area that is:

- Planted with vegetation in the form of native Northwest trees, shrubs, or grass or evergreen groundcover maintained in good condition; or
- Occupied by sculpture, fountains or pools, benches, or other outdoor furnishings; or
- Occupied by recreational facilities; or
- Paved with decorative pavers, brick combined with any of the above items.

Leadership in Energy and Environmental Design (LEED) – LEED means the standard recognized “green building” rating system that encourages the use of sustainable building and development practices through the implementation of accepted tools and performance criteria, as administered by the U.S. Green Building Council.

Low-Impact Development – Low-impact development (LID) means a variety of building techniques and systems designed to lessen the environmental impact of construction activities; LID techniques may include bio-retention cells, engineered landscapes, green/vegetated roofs, pervious/porous pavement, drought-tolerant landscapes, tree retention, etc.

Main Entrance – Main entrance means that entrance of the building, which is most architecturally prominent and contains operable doors.

Modulation – Modulation means stepping back or projecting forward portions of a building face within specified intervals of building width and depth, as a means of breaking up the apparent bulk of a structure’s continuous exterior walls.

Mullion – Mullion means a vertical post or other upright dividing a window or other opening into two or more lights.

Native Landscaping – Native landscaping means landscaping that exclusively uses any mix of trees, shrubs, ground cover, and flowers indigenous to the Pacific Northwest.

Northwest Design – Northwest design means design elements that emphasize the character of historic and current development of the Northwest that balances the use of local materials (such as timber and high quality aggregates) to construct buildings with the natural environment, including native vegetation.

Parapet – Parapet means a low, solid, protective screening or decorative wall; often used around a balcony or along the edge of a roof.

Pedestrian-Oriented Facade – Pedestrian-oriented facade means a building facade that features any of the following characteristics:

- A transparent window area along at least 75 percent of the ground floor between the height of two feet and eight feet above the ground; and
- Frontage along a pedestrian-oriented space.

Pedestrian-Oriented Retail – Pedestrian-oriented retail means commercial uses that provide a wide range of services and goods within convenient walking distance that allow community residents and employees to meet their daily shopping needs without driving from store to store.

Pedestrian-Oriented Space – Pedestrian-oriented space means an area between a building and a street, access road, or along a pedestrian path, which promotes visual and pedestrian access onto the site and which, provides pedestrian-oriented amenities and landscaping to enhance the public's use of the space for passive activities such as resting, reading, picnicking, etc.

Pedestrian-Oriented Use (or Business) – Pedestrian-oriented use means a commercial enterprise whose customers commonly arrive at the business on foot, or whose signage, advertising, window display, and entryway(s) are oriented toward pedestrian traffic. Pedestrian-oriented business may include restaurants, retail shops, personal service businesses, travel services, banks (except drive-through windows), and similar establishments.

Pedestrian Transition Space – Pedestrian transition space means a publicly accessible outdoor area that allows activities from inside of the building to spill out (e.g., outdoor cafes and sidewalk sales) and provides a comfortable area to view and/or enter the inside of the building.

Pergola – Pergola means a covered walk in a garden, or along a commercial frontage, usually formed by a double row of posts or pillars with beams above and covered with climbing plants.

Pilaster – Pilaster means a rectangular or round column or shallow pier attached to a wall constructed to coordinate with the style of the building.

Public Art – Public art means a device, element, or feature whose primary purpose is to express, enhance, or illustrate aesthetic quality, feeling, physical entity, idea, local condition, historical or mythical happening, or cultural or social value. Examples of artwork include sculpture, bas-relief sculpture, mural, or unique specially crafted lighting, furniture, pavement, landscaping, or architectural treatment that is intended primarily, but not necessarily exclusively, for aesthetic purpose.

Rhythm – Rhythm means regularly recurring facade elements, features, or building masses.

Scale, Architectural – Architectural scale means the perceived relative height and bulk of a building relative to that of neighboring buildings. A building's apparent height and bulk may be reduced by modulating facades.

Scale, Human – Human scale means the perceived size of a building relative to a human being. A building is considered to have "good human scale" if there is an expression of human activity or use that indicates the building's size. For example, traditionally sized doors, windows, and balconies are elements

that respond to the size of the human body, and therefore are elements in a building that indicate a building's overall size.

Streetscape – Streetscape means the visual character of a street as determined by various elements such as structures, greenery, open space, views, etc.

Transom – Transom means a horizontal glass plane, typically encased in a wood or metal frame that separates the storefront from the upper facade.

Trim – Trim means the framing or edging of openings and other features on a facade or indoors. It is usually of a color and material (wood, stucco, or stone) different from that of the adjacent wall surface.

Turret – Turret means a very small and slender tower.

Vertical Articulation – Vertical articulation means the visual division of a building's facade into distinct sections or elements to reduce the apparent horizontal length of the facade.

Exhibit G

ADDITIONAL FINDING TO THE STAFF REPORT AND RECOMMENDATION ZCA200808, RZ200802, AND COMPREHENSIVE PLAN, LAND USE ELEMENT AMENDMENTS

March 11, 2009

TO: Mayor Walsler, and Monroe City Council
FROM: RUSS WRIGHT, ASSOCIATE PLANNER
BEN SWANSON, ASSISTANT PLANNER
SUBJECT: CITY INITIATED CODE AMENDMENT TO TITLE 18, BORLIN PARK DESIGN GUIDELINES, REZONE OF PROPERTIES WITHIN THE DOWNTOWN PLANNING AREA TO DOWNTOWN COMMERCIAL, AND UPDATE TO THE LAND USE ELEMENT OF THE CITY OF MONROE COMPREHENSIVE PLAN

ADDITIONAL FINDINGS to PHASE II – REVIEW and ACTION for SELECTED AMENDMENTS, SECTION D (2) of RESOLUTION 2005/006:

- a. Addresses needs or changing circumstances of the City as a whole or resolves inconsistencies between the Monroe Comprehensive Plan and other city plans or ordinances.

Finding: The Downtown Master Plan was developed with the intent of providing greater residential density in the downtown core, specifically in the Historic Main and Borlin Park neighborhoods. The Supplemental Environmental Impact Statement assessed residential impacts up to 20 dwelling units per acre. As the plan progressed, the final density recommendations were erroneously not incorporated into Ordinance 036/2008. This oversight was discovered during the implementation phase as the development regulations were drafted. For the development regulations to be adopted as envisioned, the density requirements for the downtown neighborhoods need to be amended for consistency.

- b. Environmental impacts have been disclosed and/or measures have been included that reduce possible adverse impacts.

Findings: The City completed a comprehensive environmental review of the proposed changes for potential adverse environmental impacts that may result from the approval of the proposed application.

- *A Supplemental Environmental Impact Statement was completed for the Downtown Master Plan issued on April 15, 2008, that considered several development scenarios for the Downtown Planning Area.*
 - *A SEPA Checklist was also prepared for the proposed code change and rezone, as outlined in the staff report. A Determination of Non-Significance was issued on December 30, 2008. The appeal/comment period for the determination has expired; no comments were received.*
 - *Subsequently, a SEPA Addendum to the DNS was issued on February 04, 2009 to address the specific chapter amendments in Title 18 MMC and to clarify the density levels for the downtown neighborhoods within the Land Use Element of the Comprehensive Plan.*
- c. Is consistent with the land uses and growth projections that were the basis of the comprehensive plan and/or subsequent updates to growth allocations.

Findings: The proposed Downtown Master Plan estimates that approximately 12.5 percent of the local area housing market is likely to prefer downtown living. It is estimated that approximately 150 or more new units could be accommodated in the downtown area by the year 2012. Actual construction is dependent on the housing market and other economic influences. The recommendation to encourage residential development in the Al Borlin Park Neighborhood will also help the city reduce the residential land capacity deficit identified in the 2007 Snohomish County Buildable Lands Report. Increased demand for retail space in the downtown is estimated to be approximately 100,000 square feet by 2012. In addition, other employment opportunities in the downtown would result in the renovation or construction of approximately 52,000 square feet for non-retail uses. The proposed amendments will enhance the economic development of the downtown area at a time of economic downturn when any measures that facilitate economic development are critical to the welfare and prosperity of Monroe residents

- d. Is compatible with neighboring land uses and surrounding neighborhoods, if applicable.

Findings: The proposed changes were designed to be compatible with the existing land use. The Rails and Roads Neighborhood is similar to the General Commercial Zone that it borders. The Downtown Neighborhood will be a transitional neighborhood that will buffer more intensive commercial uses in the Historic Main Neighborhood to the east and residential and professional uses to the south and west. The proposed residential density is consistent with the adjacent MR6000 and PO zoning. The Historic Main Neighborhood is in the middle of the planning area and compliments the uses of the other neighborhoods with its emphasis on mixed-use and commercial development. The Borlin Park Neighborhood borders the Historic Main Neighborhood to the west, Al Borlin Park to the east, and UR600 zone to the south. Even though the overall proposed residential density is greater in the Borlin Park neighborhood than in the adjacent UR600 zone, the Borlin Park Neighborhood is largely confined, as described above, and only shares a limited boundary with UR6000 zone, north of McDougall that will provide an adequate transition.

- e. Is consistent with other plan elements and the overall intent of the comprehensive plan.

Finding: As described in greater detail in Exhibit F, the proposed changes to implement the Downtown Master Plan, including the proposed changes to the Land Use Element are consistent with the City of Monroe Comprehensive Plan.